

	BUILDING SECTION
	EXTERIOR ELEVATION
	WALL SECTION
	DETAIL
	ENLARGED PLAN
	GLASS & SKYLIGHTS
	DOOR SYMBOL
	EXIT SIGNAGE
	CONC. BLOCK WALL
	STUD WALL
	ROOM NUMBER
	FIRE EXTINGUISHER

BUILDING STATISTICS

BUILDING AREA

8,289 sq. ft. gross

BUILDING CODE

1979 U.B.C.

OCCUPANCY

A-3

FIRE ZONE

3

CONSTRUCTION TYPE

V

AUTOMATIC SPRINKLERS THRU OUT

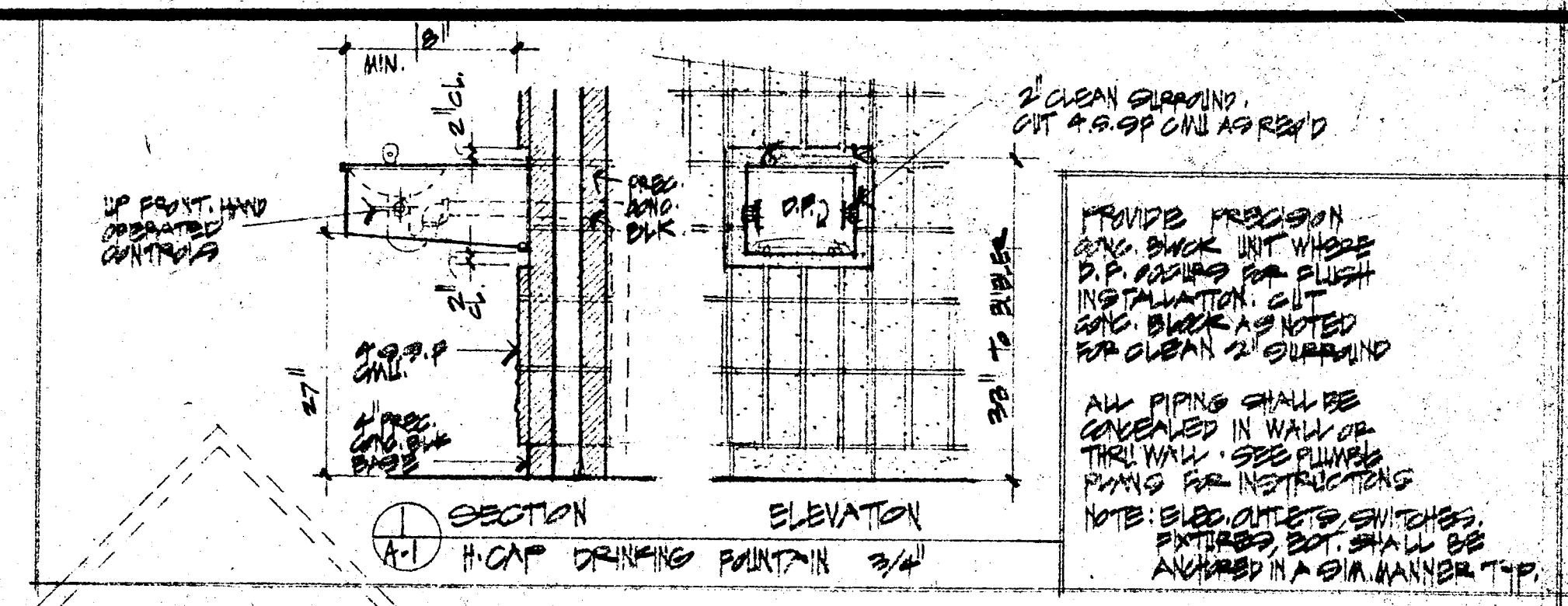
GEN. NOTES

1. Automatic sprinkler systems shall be provided throughout this building including the entire attic space and installed in accordance with the provisions of Sec. 3802, 1979 UBC.
2. Refer to landscape drawings for site development in and around building.
3. For notes and details regarding grading, drainage, retaining walls see civil and structural drawings.
4. See mechanical, electrical and plumbing drawings for information this building.
5. All exit doors shall swing in the direction of exit travel where possible w/approved panic hardware.
6. Exit doors shall be operable from the interior without the use of a key or any "special knowledge or effort."
EXCEPTION: Does not apply to exterior exit doors if there is a readily visible, durable sign on or adjacent to the door stating "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS," Sec 3303, 1979-UBC.
7. Thresholds at entry doors shall not be higher than 1/2" from floor finish at entry.
8. Exit signs and illumination shall be located as per governing fire marshals' request, and as per Sec 3314, 1979 UBC.
9. Occupancy load signs shall be posted in plain view and as required by fire marshal, city/state officials, and as per Chapter 33, 1979 UBC.
10. For seismic supports of nonbearing walls provide 3 gauge galvanized splay wires at 45° at 8'-0" on center each direction or as required by structural engineer and UBC Minimum.

The figure is a vertical cross-section diagram of a building. It shows several horizontal levels indicated by dashed lines and labeled on the right side: F.O.A., P.A.H., and another P.A.H. level below it. Vertical dimension lines with arrows indicate heights between these levels and from a common datum line at the bottom. The dimensions are listed vertically next to the lines: 2'-0", 1'-0", 1'-0", 1'-0", 1'-0", 1'-0", 1'-0", 1'-0", 1'-0", 1'-0". At the bottom right, there is a circular symbol containing the letter 'G' and the number 'A-6'. To its left, the text '2'-0"' is written vertically.

MEETING ROOM [9] ----- 210 MAX @ 7 # PER PERSON
 WEIGHT LIFT [10] ----- 60 MAX @ 15 # PER PERSON
 CRAPSHOTS [9] ----- 185 MAX @ 20 # PER PERSON
 KITCHEN [28] ----- 2 MAX @ 100 # PER PERSON
 GYMNASIUM LOUNGE [11] ----- 40 MAX @ 15 # PER PERSON
 WING 5 [13] ----- 20 MAX @ 15 # PER PERSON
 OFFICES [14] @ [8] ----- 3 MAX @ 100 # PER PERSON

TOTAL OCCUPANTS THIS BUILD = 297.5



1. Automatic sprinkler systems shall be provided throughout this building including the entire attic space and installed in accordance with the provisions of Sec. 3802, 1979 UBC.

2. Refer to landscape drawings for site development in and around building.

3. For notes and details regarding grading, drainage, retaining walls see civil and structural drawings.

4. See mechanical, electrical and plumbing drawings for information this building.

5. All exit doors shall swing in the direction of exit travel where possible. Approved panic hardware.

6. Exit doors shall be operable from the interior without the use of a key or any special knowledge or effort.

EXCEPTION: Does not apply to exterior exit doors if there is a readily visible, durable sign on or adjacent to the door stating "FIRE DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS." Sec. 3303, 1979 UBC.

7. Thresholds at entry doors shall not be higher than 1/2" from floor finish at entry.

8. Exit signs and illumination shall be located as per governing fire marshal's request, and as per Sec. 3312, 1979 UBC.

9. Occupancy load signs shall be posted in plain view and as required by fire marshal's request, and as per Chapter 33, 1979 UBC.

10. For seismic supports of nonbearing walls provide 3 gauge steel braced by 4 x 6 post at 45° at 8'-0" on center each direction or as required by structural engineer and UBC Minimum.

TYPICAL AUTOMATIC SPRINKLER NOTES

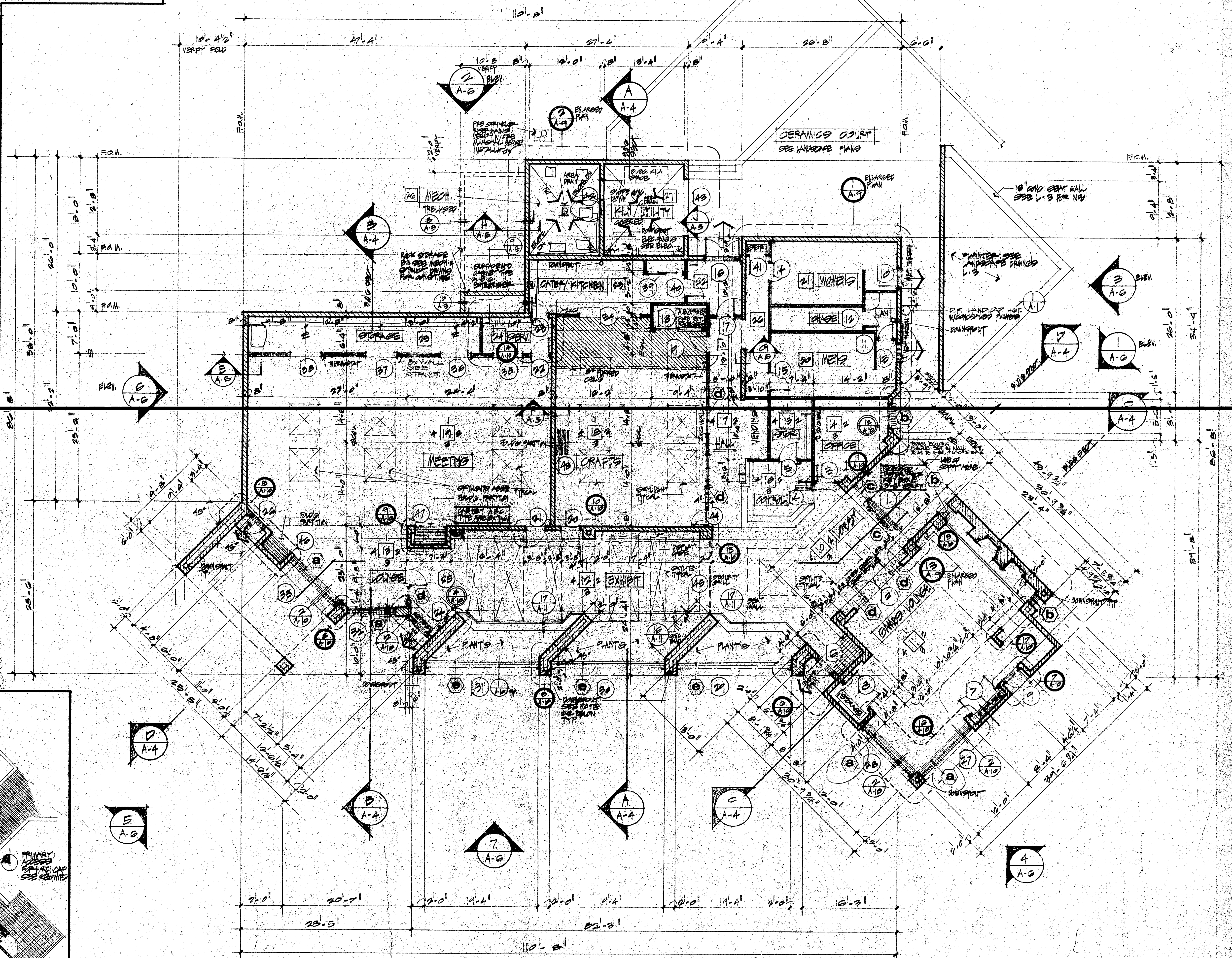
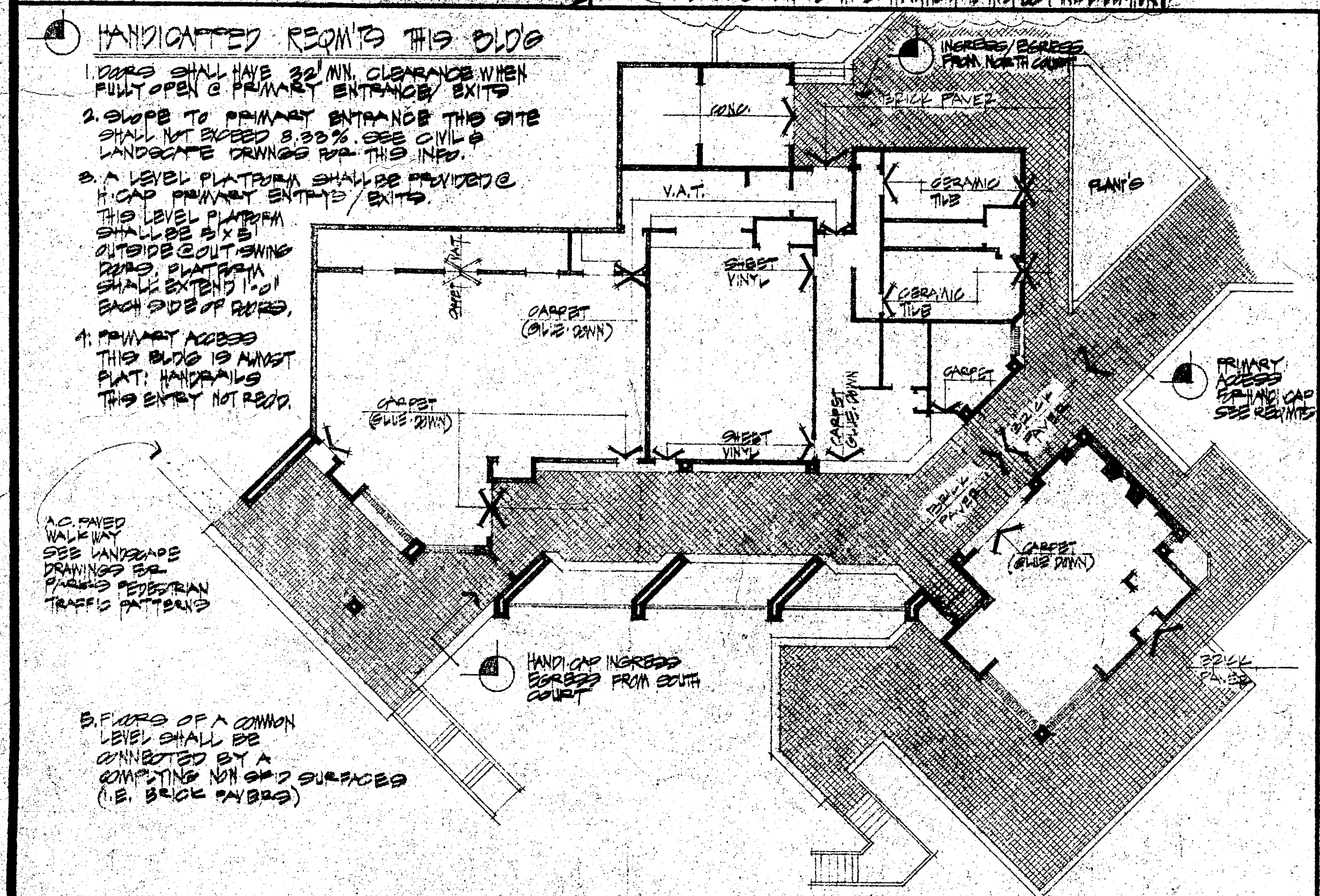
1. Provide for flow alarms typical first floor.
2. Provide for test facility this sprinkler system as required by governing fire marshal.
3. Fire extinguisher locations shall be verified by field inspection by fire marshal, 3 gallon minimum.
4. All interior finishes shall be "covered in accordance with Class 1" as defined in Appendix Class 1 - ceiling, walls and floors.

SEE LANDSCAPE DRAWINGS QNT. L-1 & DETAIL A/L-6 FOR TRASH WASTE STORAGE. MINIMUM SIZE WASTE STORAGE SHALL BE NO LESS THAN 48" WIDE X 18" DEEP X 6'0" IN LENGTH. RECYD STORAGE AREA IS 6'0" X 10'0" MIN. MINIMUM WASTE STORAGE IS SUBJECT TO APPROVAL OF INDUSTRIAL WASTE/SANITATION DEPT.

NO PROTECTION TO BE REQUIRED TO TESTING OF SPRINKLER SYSTEM SHALL BE UNDERTAKEN BY FIRE DEPT. SPECIAL INSPECTION. WHENEVER SPECIAL INSPECTION HAS BEEN GIVEN BY FIRE DEPT. NO PROTECTION REQUIRED.

BUILDING AREA, RECAP		9.7.
BUILDING AREA	TACCS #	
MECH. ROOMS		
PLANTING	50.0 #	
FLUOR. CHAS	84.0 #	
MECHANICAL RM.	208.0 #	
KILN AREA	232.0 #	
PLANTING	387.5 #	
GROSS BUILDING AREA	828.5 #	

Contractor shall conform to and abide by all city, county and state handicap requirements: Including 1979 UBC "Access" requirements Section 17, Section 33. In areas where there appears to be a conflict between state law and local building codes, the most stringent requirements should be followed.



NOTE:

1. OUTLETS & SWITCHES TO BE LOCATED IN PRECISION BLOCK TYPE FLOOR LAYOUT. SEE E.M. ELECTRICAL PLAN.
2. SEE LANDSCAPE DRAWING 1/3 FOR IRRIGATION LINE & DRAIN LINE SERVED BY MAIN DRAIN LINE. IRRIGATION ALSO TO BE DRAIN LATERALS ATTACHED TO MAIN DRAIN. DOOR DRAIN BOT. DRAIN LEAVE THRU FLOOR. SEE PLUMBING PLAN.
3. FIRE PROTECTION FACILITIES INCLUDING ACCESS MUST BE PROVIDED PRIOR TO & DURING CONSTRUCTION.

5. PROVIDE TAMPER-PROOF KEY BOX (NEEDED)
IN FREIGHT BLACK W/COVER PLATE
FURNISH TO CONSIGNEE FREE. IF BOX
SHALL NOT EXCEED 60" WIDE LESS THAN
24" LOCATED 6" FROM ENTRY. BOX
SHALL BE BLACK BOLD PRINTED IN
MARKING COVER. VERIFY W/ FIELD MARSHAL
ACTUAL LOCATION BEFORE CONSIGNEE
OR BULKER SHALL NOT EXCEED 6" X 6" X 6" UNIT
C. KEY BOX LOCATION: BOX SHALL BE
CENTERED EACH WAY IN FREIGHT BLACK

HARDSCAPE PLAN

PROVIDED PRIOR TO A BUILDING CONSTRUCTION

FLOOR PLAN

SCALE: NORTH

JAN 5 1968

The Reynolds Environmental Group
 Over 20 years of experience. A record of client success.

ARCHITECTS/PLANNERS
 2235 Newport Blvd., Alhambra, CA 91803 (714) 873-0947

rancho palos verdes
Hasse Community Park

① SHEET A1 OF JOB <i>Probs</i>	FLOOR PLAN		SCALE 1/4" = 1'-2" DRAWN <i>10/11/12</i> DRAWN <i>5/8/12</i> CHECKED	REVISIONS Δ 2 10/11/12 Δ 3 10/11/12 Δ 4 10/11/12 Δ