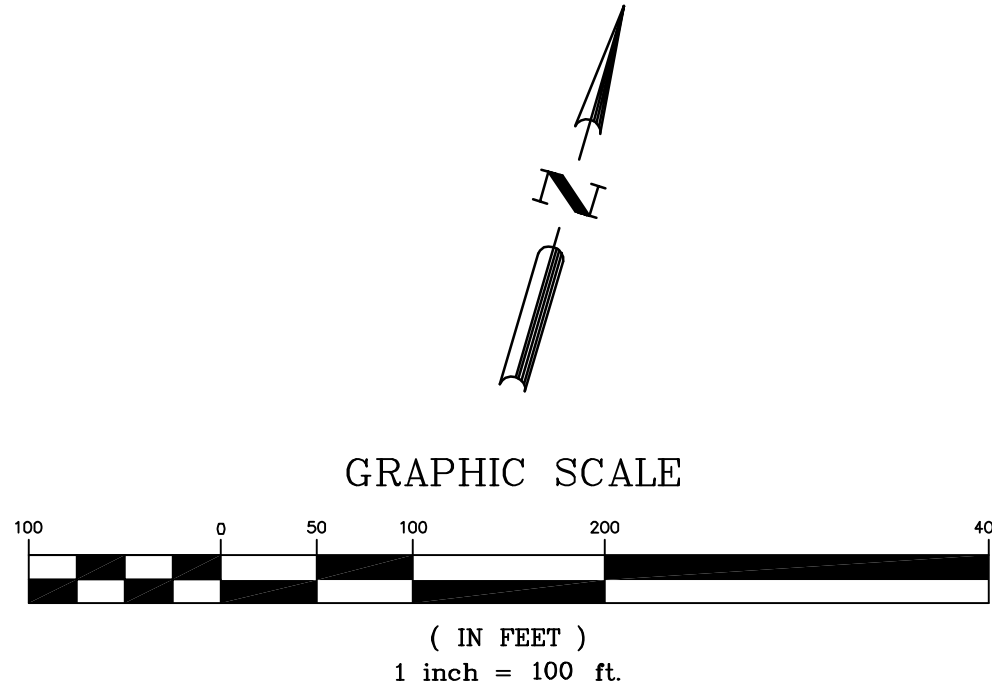
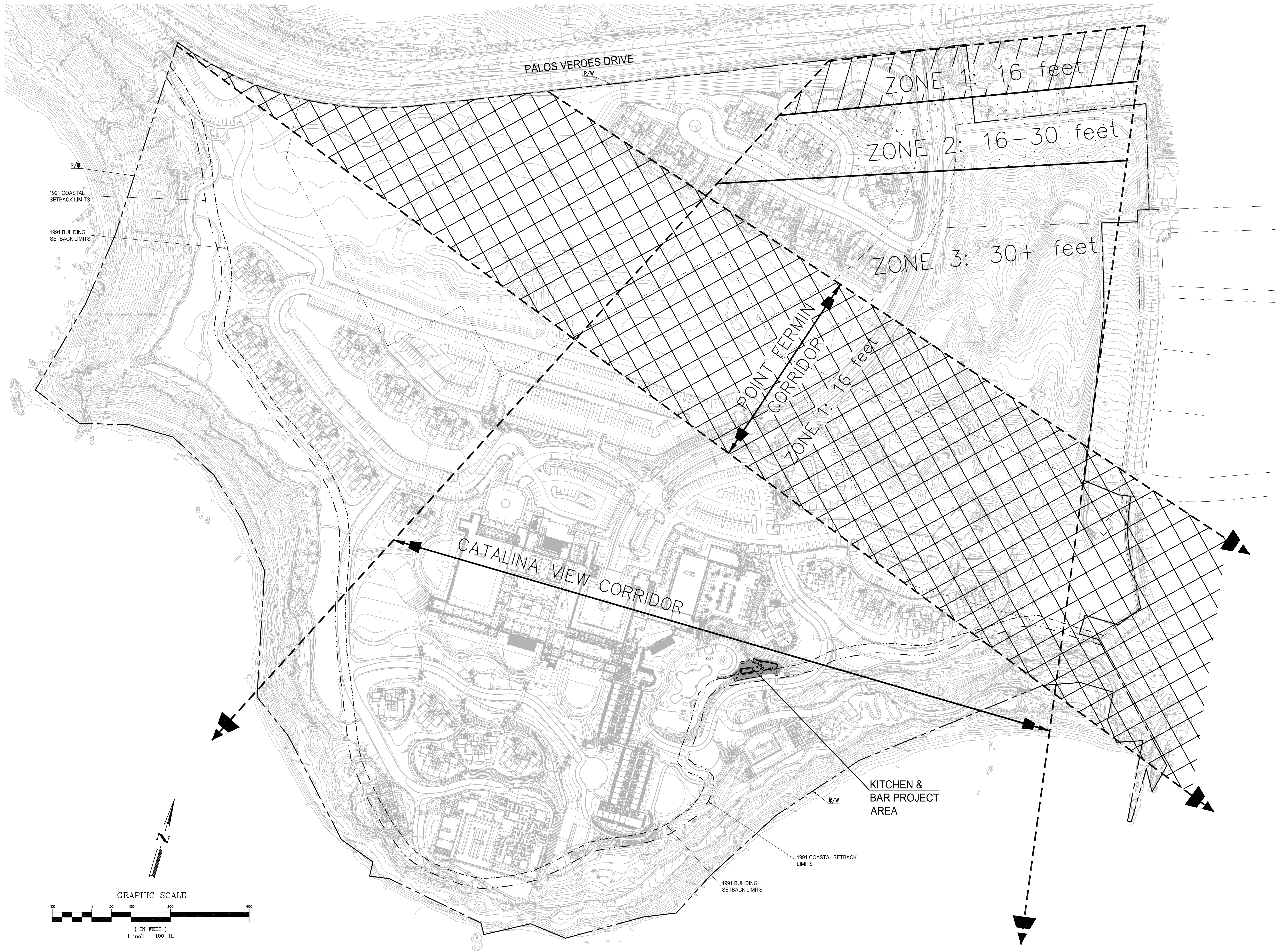
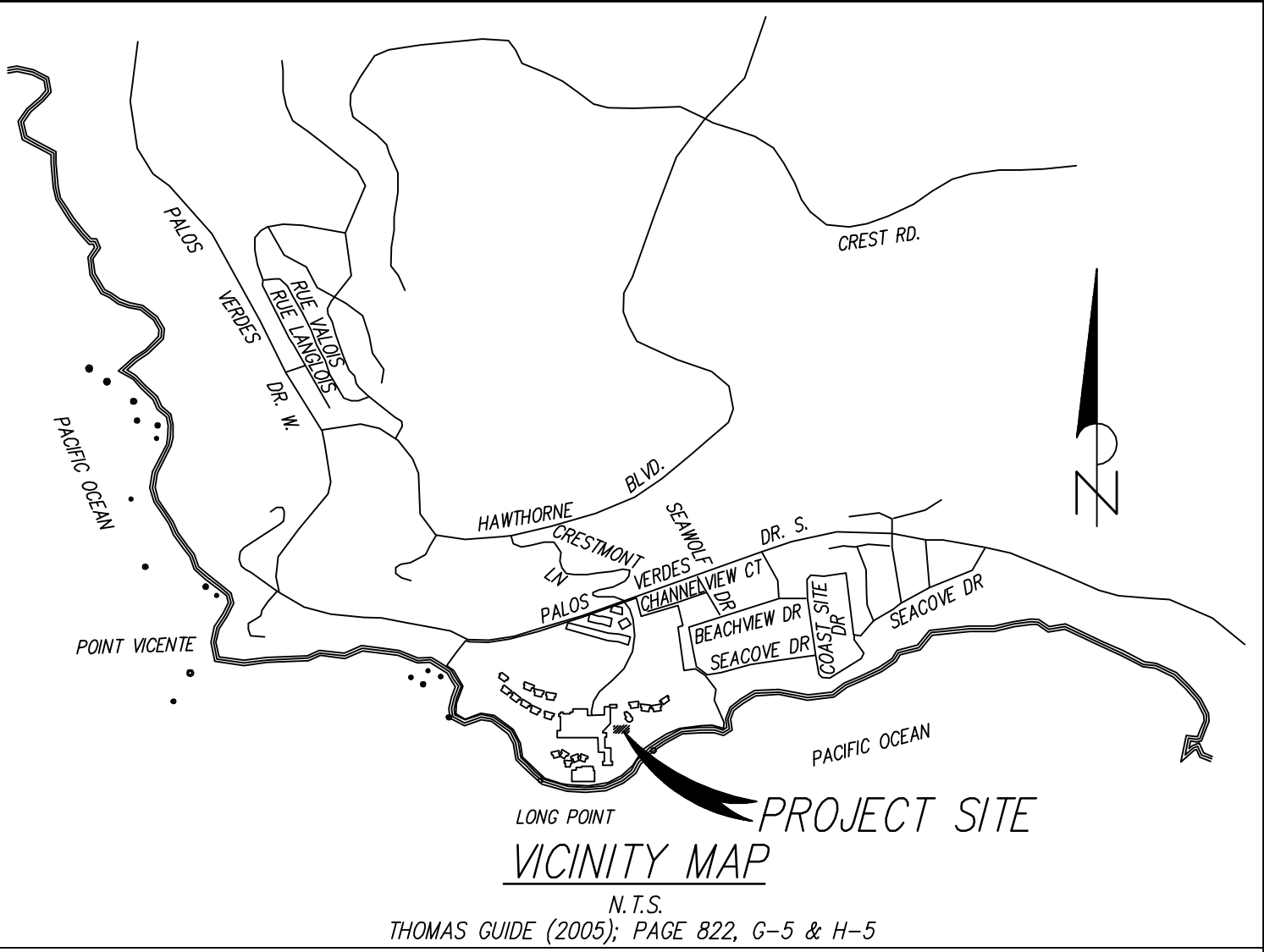




PREPARED BY:



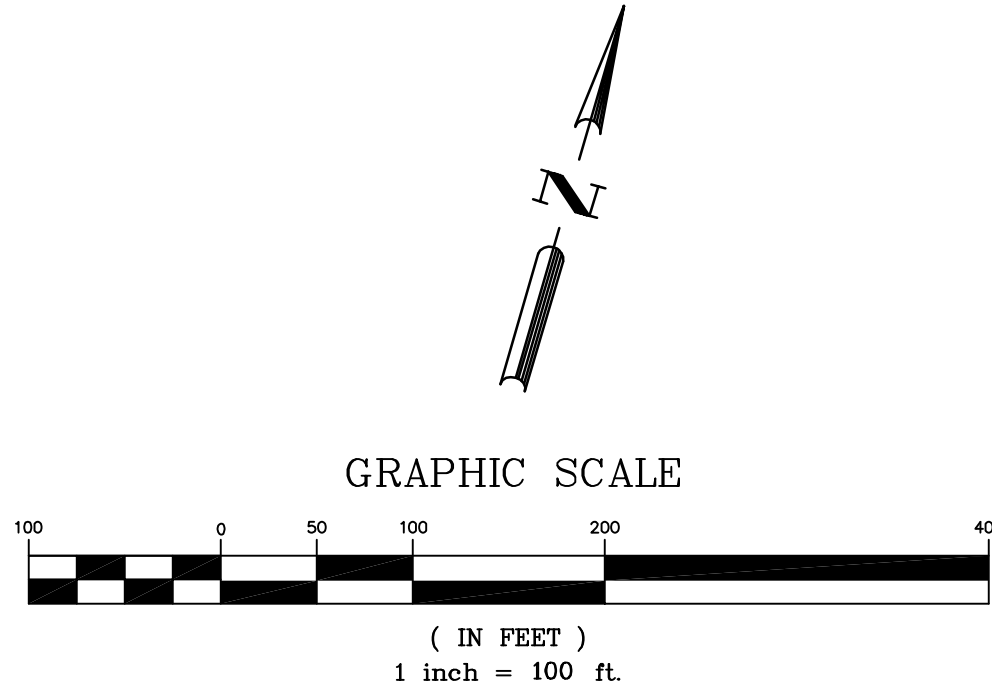
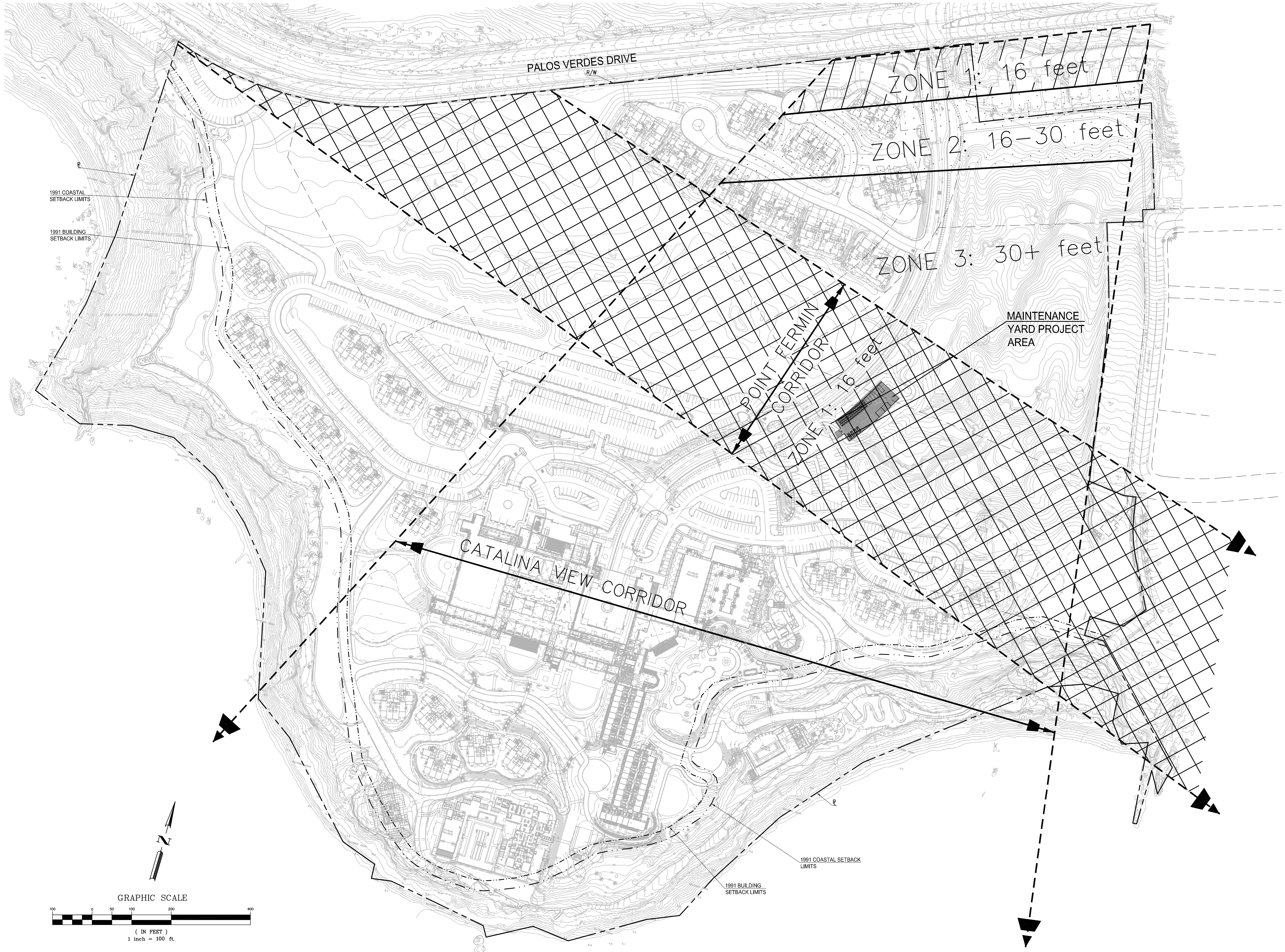
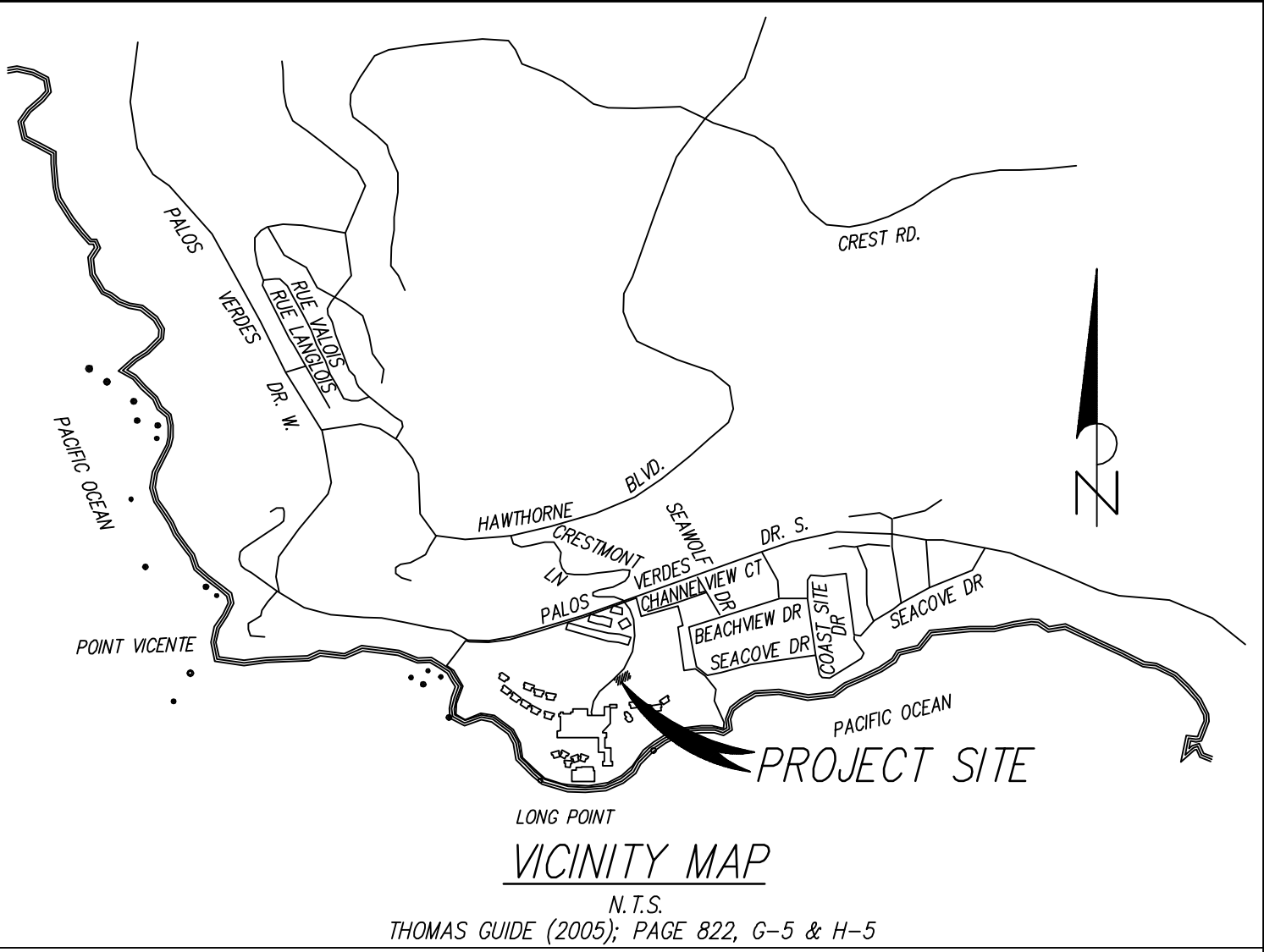
REVISION			
NO.	DATE	DESCRIPTION	BY
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TERRANEA
VIEW CORRIDOR EXHIBIT
KITCHEN & BAR
P.M. 26073
CITY OF RANCHO PALOS VERDES COUNTY OF LOS ANGELES
STATE OF CALIFORNIA

DATE:
OCT 7, 2014

SCALE:
1" = 100'

SHEET 1 OF 1



PREPARED BY:



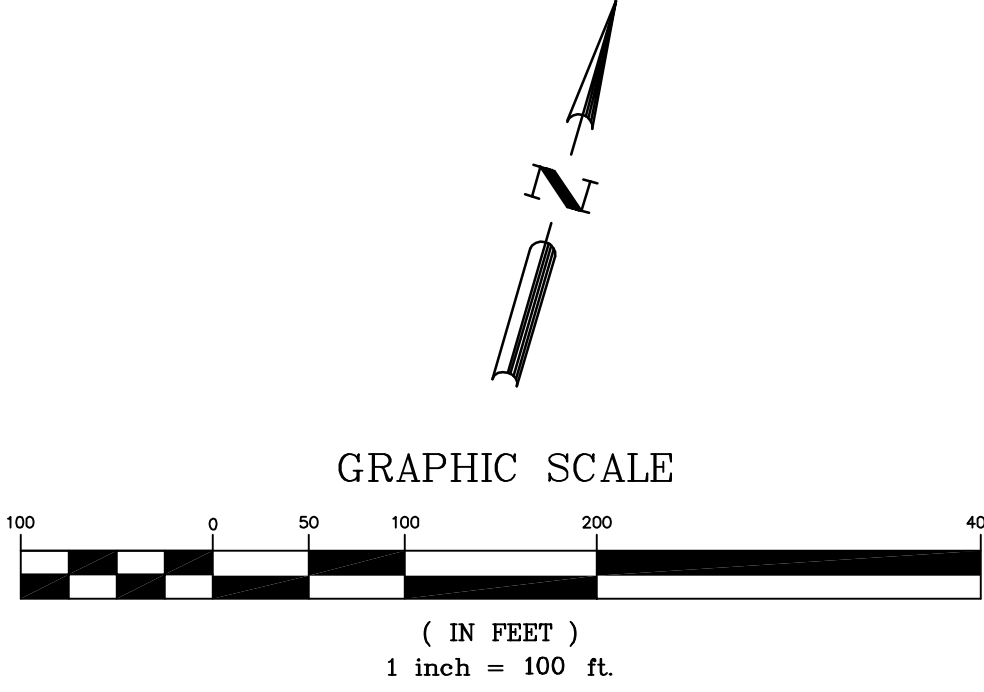
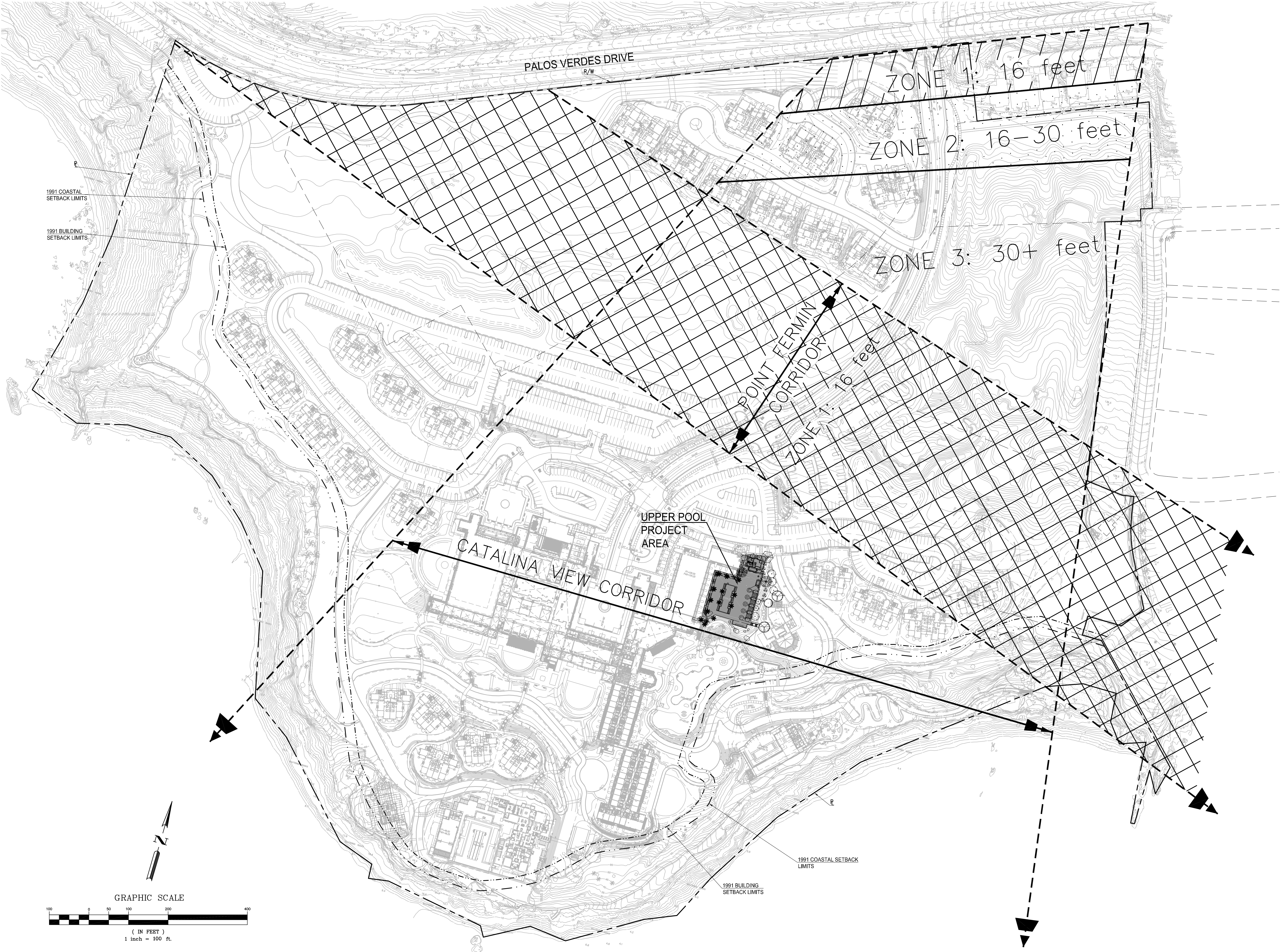
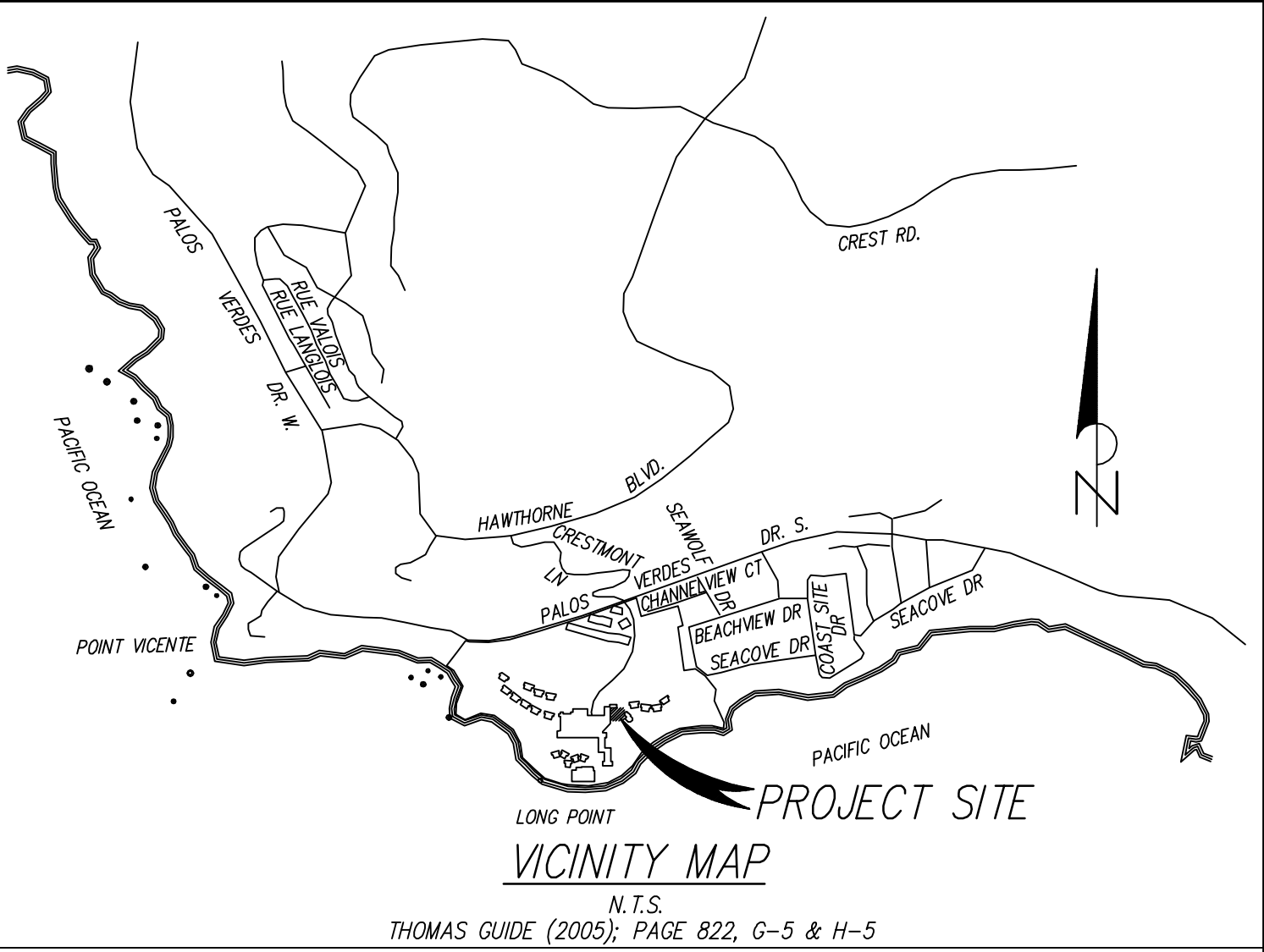
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TERRANEA
VIEW CORRIDOR EXHIBIT
MAINTENANCE YARD
P.M. 26073
CITY OF RANCHO PALOS VERDES COUNTY OF LOS ANGELES
STATE OF CALIFORNIA

DATE:
OCT 7, 2014

SCALE:
1" = 100'

SHEET 1 OF 1



PREPARED BY:



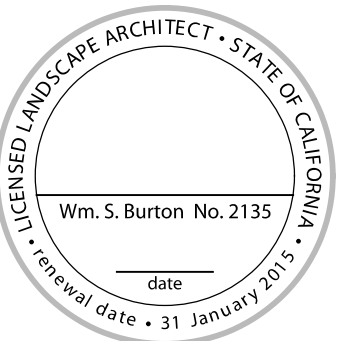
REVISION			
NO.	DATE	DESCRIPTION	BY
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TERRANEA
VIEW CORRIDOR EXHIBIT
UPPER POOL
P.M. 26073
CITY OF RANCHO PALOS VERDES COUNTY OF LOS ANGELES
STATE OF CALIFORNIA

DATE:
OCT 7, 2014

SCALE:
1" = 100'

SHEET 1 OF 1



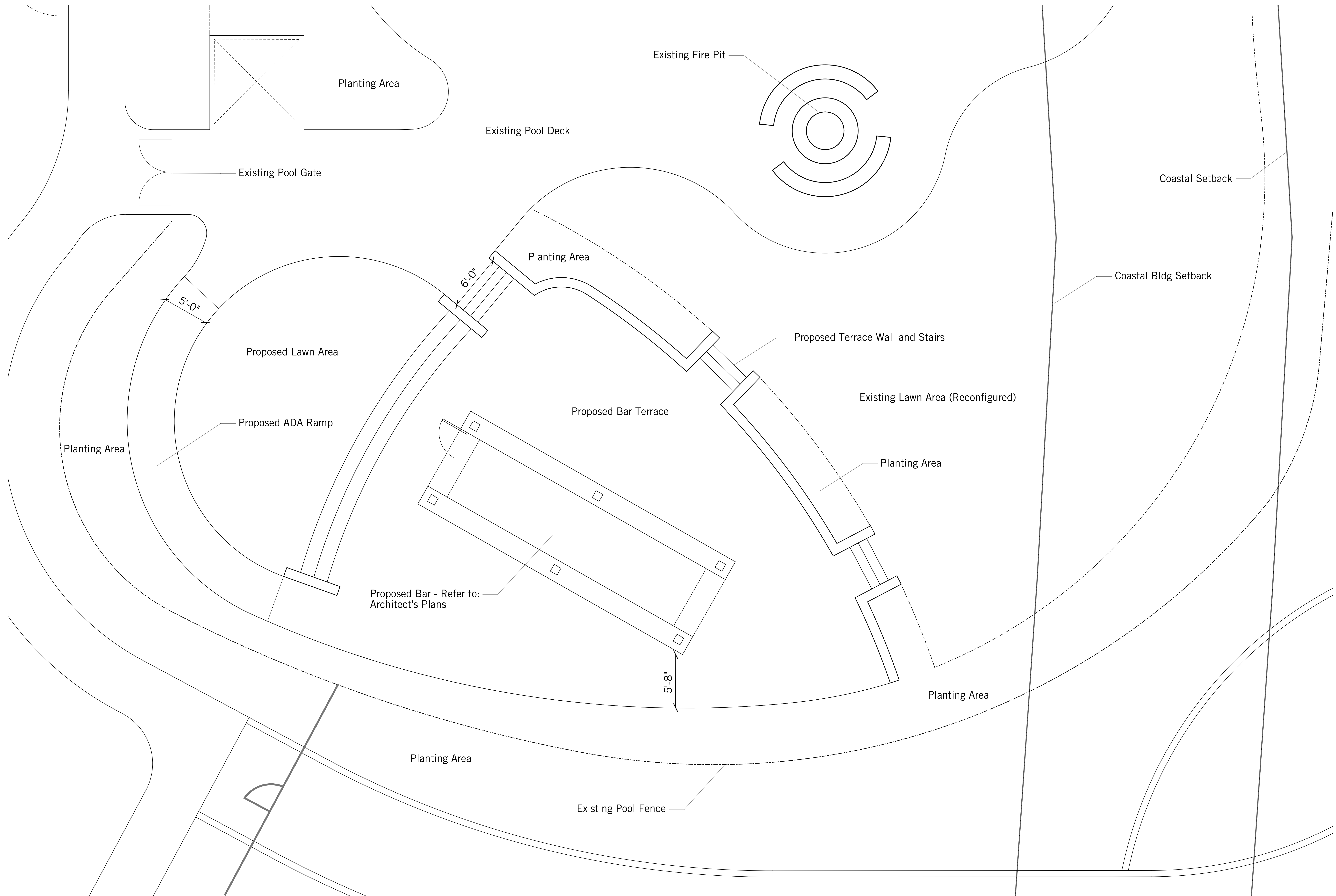
KEY PLAN

REVISION

KS PROJECT NUMBER
17332.001
DATE
10/02/2014
ISSUE
CITY OF RPV

Landscape Plan

SHEET NO.



SLAB PLAN GENERAL NOTES:

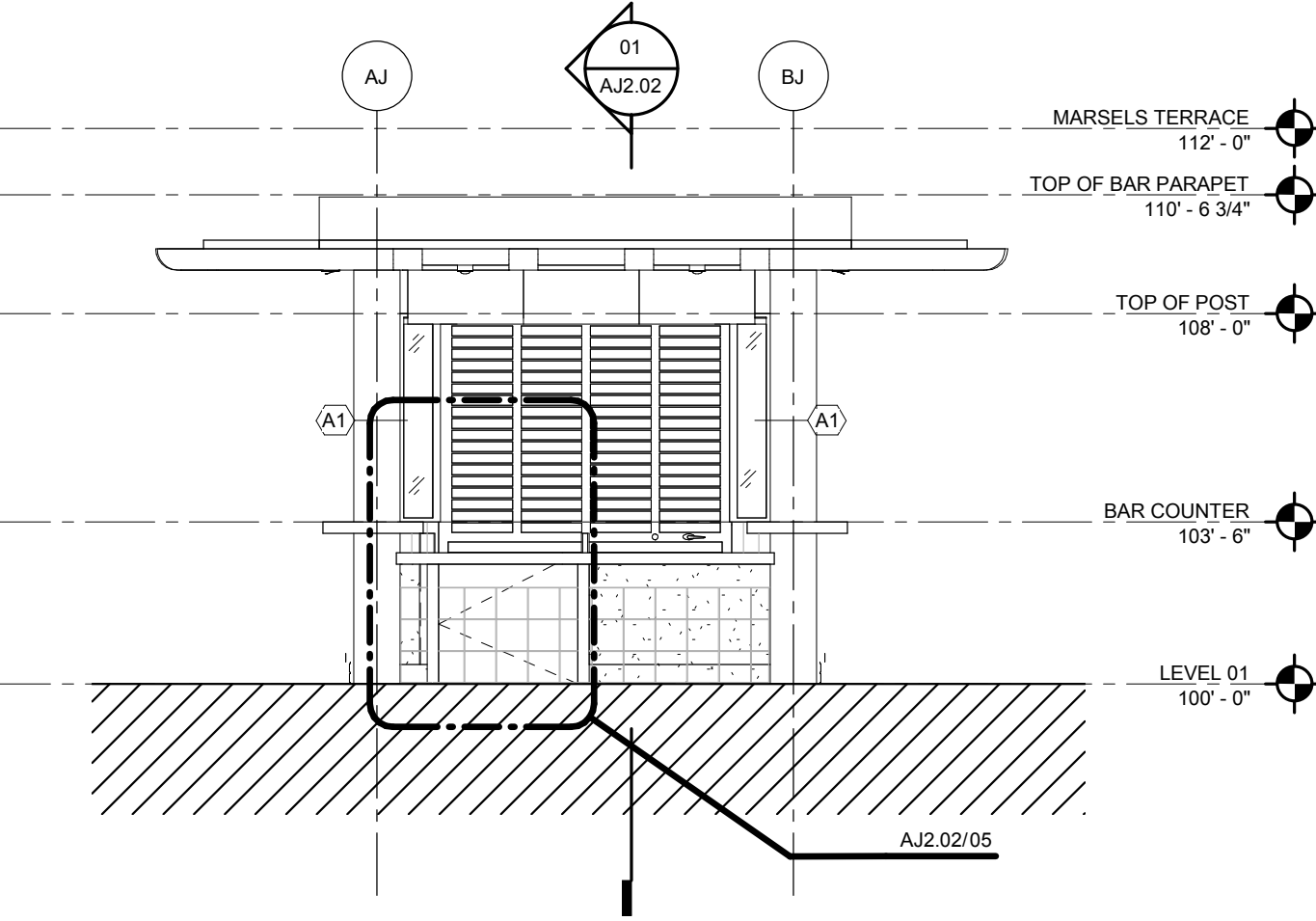
1. CONTRACTOR SHALL VERIFY AND COORDINATE ALL SLAB OPENINGS, SUCH AS FLOOR CLOSER BLOCK OUTS, LANDSCAPE BLOCK OUTS, PLUMBING BLOCK OUTS, MECHANICAL, SHAWT PENETRATIONS, TOILET EXHAUST SHAFTS, FAN COIL UNIT BLOCK OUTS, AND STAR OPENINGS, WITH ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL, LANDSCAPE, KITCHEN, AND LAUNDRY DRAWINGS PRIOR TO INSTALLATION. NOTIFY THE ARCHITECT OF CONFLICTS BETWEEN THE ARCHITECT, STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL, KITCHEN, AND LAUNDRY DRAWINGS.
2. CONTRACTOR SHALL VERIFY AND COORDINATE ALL SLAB DEPRESSIONS AND RAISED SLAB WITH ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL, LANDSCAPE, KITCHEN, AND LAUNDRY DRAWINGS PRIOR TO INSTALLATION. NOTIFY THE ARCHITECT OF CONFLICTS BETWEEN THE ARCHITECT, STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL, LANDSCAPE, KITCHEN, AND LAUNDRY DRAWINGS.
3. SLAB DEPRESSIONS MAY INDICATE AREAS THAT WILL REQUIRE THE INFILLING OF CONCRETE TOPPING AS FILLERS BETWEEN FLOOR FINISHES.
4. SEE DETAILS FOR LOCATION, SIZE AND EXTENT OF ADDITIONAL CURBS NOT SHOWN ON THESE PLANS.

REFLECTED CEILING PLAN GENERAL NOTES:

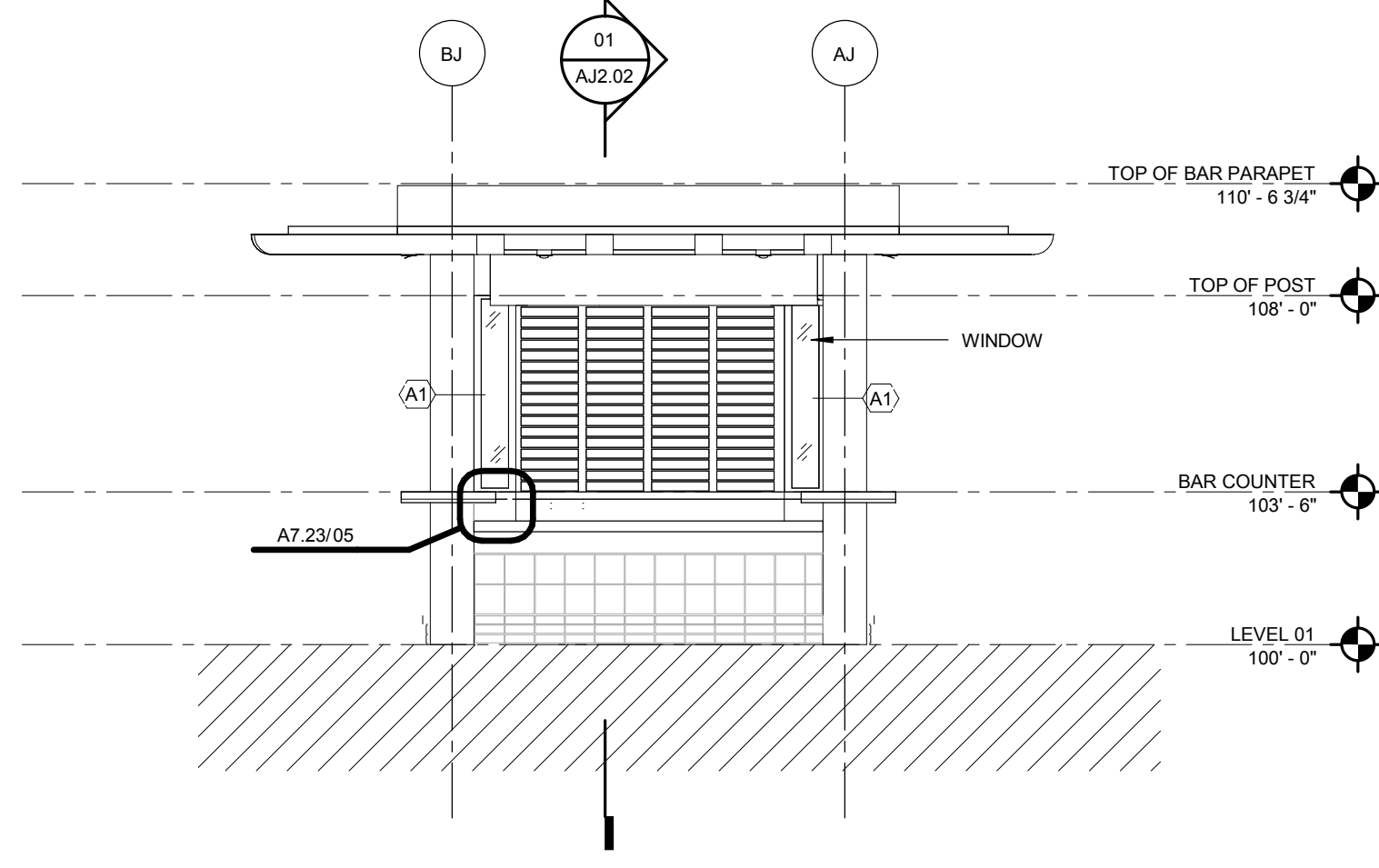
1. IN THE CASE OF MINOR DISCREPANCIES BETWEEN THE ARCHITECTURAL AND MEP DOCUMENTS IN THE LOCATION OF CEILING MOUNTED COMPONENTS, THE ARCHITECTURAL REFLECTED CEILING PLAN SHALL GOVERN. IN THE CASE OF MAJOR DISCREPANCIES, THE ARCHITECT SHALL BE NOTIFIED AS SOON AS THE DISCREPANCY IS DISCOVERED PRIOR TO PROCEEDING WITH WORK.
2. REFERENCE MECHANICAL AND ELECTRICAL DRAWINGS FOR MOUNTING LOCATIONS OF ITEMS WHERE NO CEILING IS REQUIRED OR INDICATED.
3. LIGHTS, OFFUSERS, EXIT SIGNS, SMOKE DETECTORS, SPEAKERS, STROBES, AND MISCELLANEOUS DEVICES SHALL BE CENTERED IN THE CEILING TILE IN WHICH THEY OCCUR UNLESS INDICATED OTHERWISE. EXIT SIGNS SHALL BE CENTERED OVER DOORS WHERE OCCURS. SPEAKERS SHALL BE CENTERED BETWEEN OTHER FIXTURES, WHERE OCCURS.
4. ACCESS DOOR LOCATIONS IN GYPSUM BOARD CEILINGS ARE INDICATED ON RCP'S ONLY WHERE ARCHITECTURALLY SIGNIFICANT. REFERENCE SPECIFICATIONS AND MEP DRAWINGS FOR OTHER ACCESS DOOR LOCATIONS.
5. REFERENCE A02.05 FOR CEILING SYMBOL LEGEND.
6. SEE ENLARGED REFLECTED CEILING PLANS FOR CEILING HEIGHTS IN THOSE AREAS.
7. ALL EXPOSED UNDERSIDE OF CONCRETE SLABS IN CORRIDORS, GUESTROOM LOBBIES, SUITES, AND OTHER PUBLIC SPACES ARE TO BE COATED WITH SKIM COAT PLASTER LIGHT TEXTURE FINISH - PAINTED LIGHT FIXTURE ARE CENTERED IN SPACES. U.O.N. NOTIFY ARCHITECT OF CONFLICTS WITH MEP, FIRE SPRINKLERS, OR AUDIOVISUAL.
8. CEILING HEIGHTS NOT SHOWN SHALL BE REVIEWED WITH THE ARCHITECT PRIOR TO FRAMING. CEILING HEIGHTS SHALL NOT BE ADJUSTED WITHOUT APPROVAL OF THE ARCHITECT.
9. SPRINKLER LOCATIONS ARE SHOWN ON THE REFLECTED CEILING PLAN, ENLARGED REFLECTED CEILING PLANS. SPRINKLERS ARE TO BE CENTERED ON WALLS OR ROOMS. U.O.N. NOTIFY ARCHITECT OF ARCHITECT OF ANY CONFLICTS BETWEEN SPRINKLER LOCATIONS SHOWN AND THE OTHER TRADES.

FLOOR PLAN GENERAL NOTES:

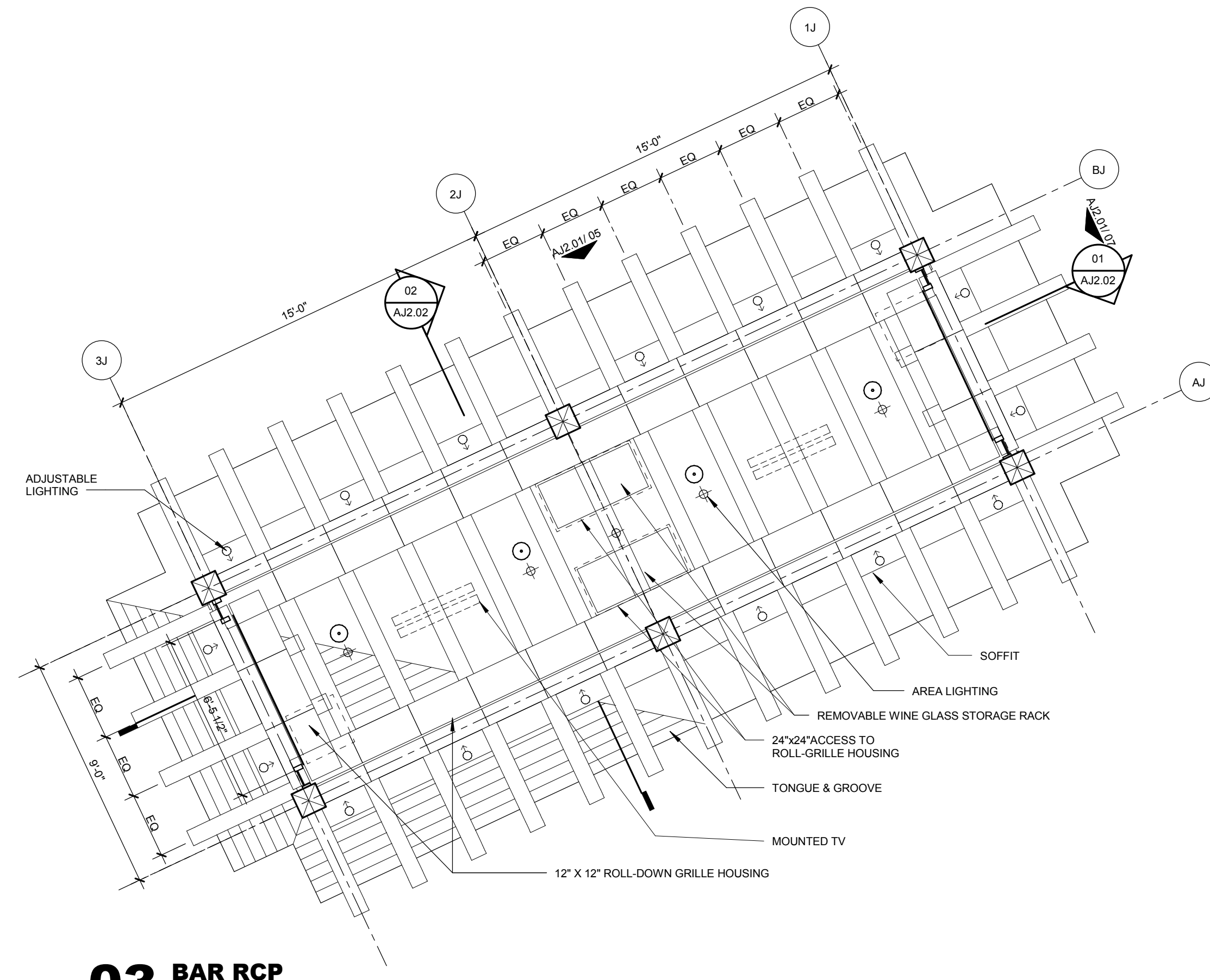
1. REFER TO SHEET A3.22 FOR TYPICAL TOILET LAYOUTS AND TOILET ACCESSORY MOUNTING DIAGRAMS.
2. REFER TO SHEET A3.01-A3.02 FOR PARTITION TYPES, GRAPHIC AND SYMBOLIC DESIGNATIONS, NOTES, AND DETAILS.
3. REFER TO PLAN FOR DOOR INFORMATION.
4. REFER TO ELEVATIONS FOR FINISH INFORMATION.
5. REFER TO ELEVATIONS FOR LOWER INFORMATION.
6. REFER TO SHEET A05.01 & A05.01 RESPECTIVELY FOR EXTERIOR ELEVATIONS.
7. ALL EXTERIOR DIMENSIONS ARE FROM FACE OF EXTERIOR FINISH. U.O.N.
8. PROVIDE FURRING CHANNELS AND 3/8" OVP AT PUBLIC AREA CONCRETE WALLS. U.O.N.



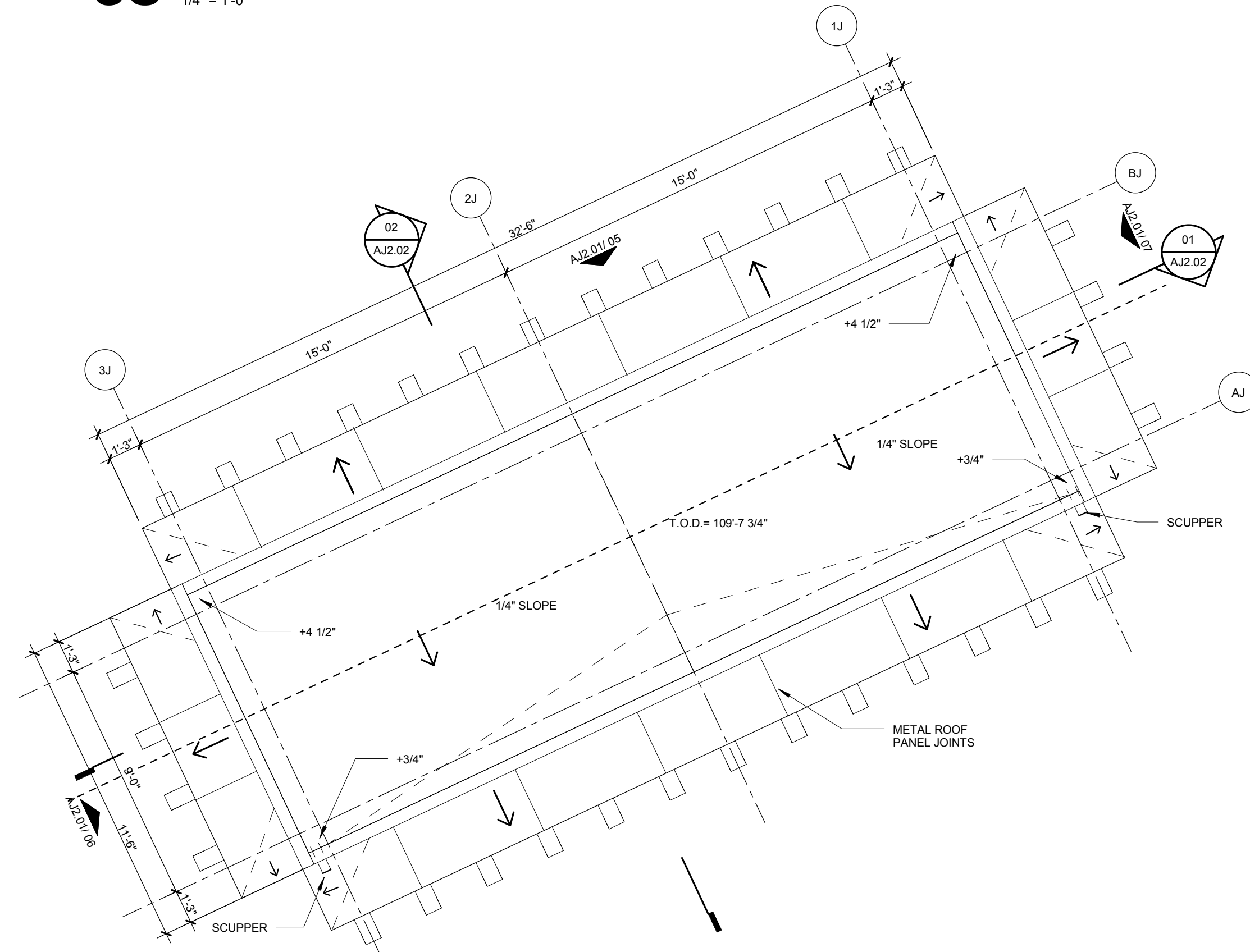
07 BAR EAST ELEVATION
1/4" = 1'-0"



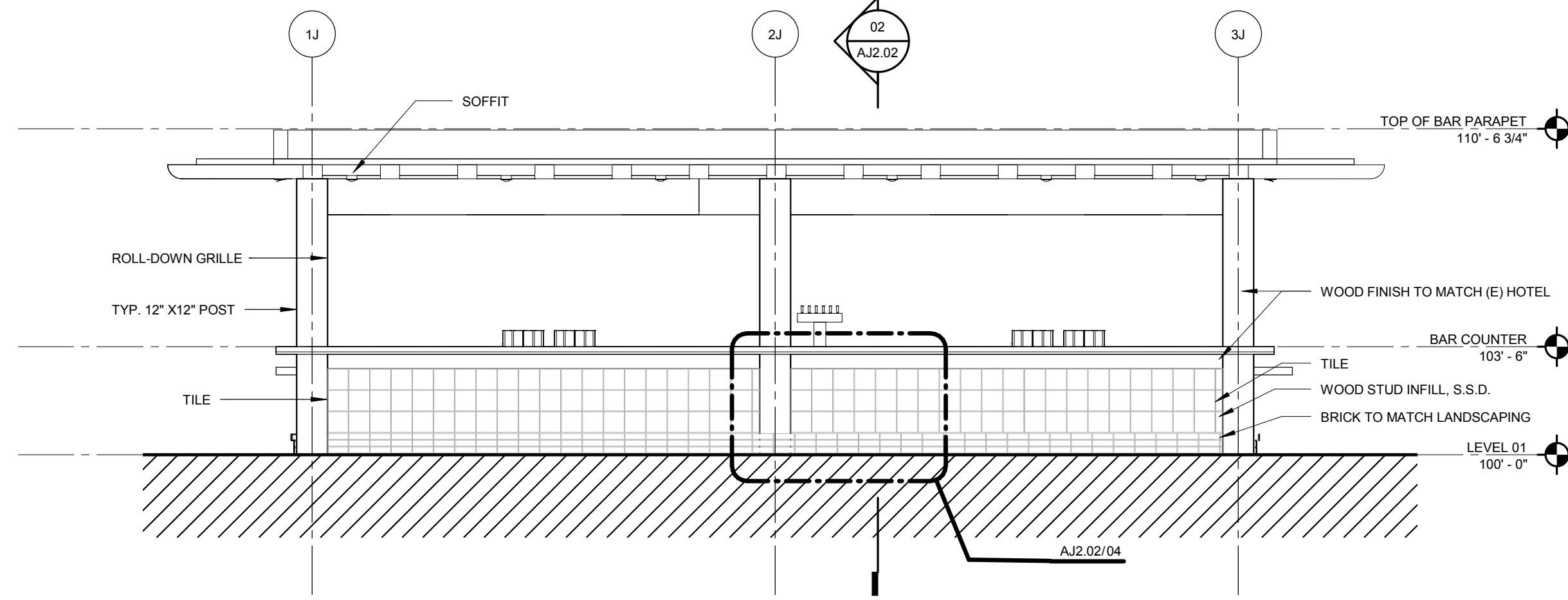
06 BAR ADA WEST ELEVATION
1/4" = 1'-0"



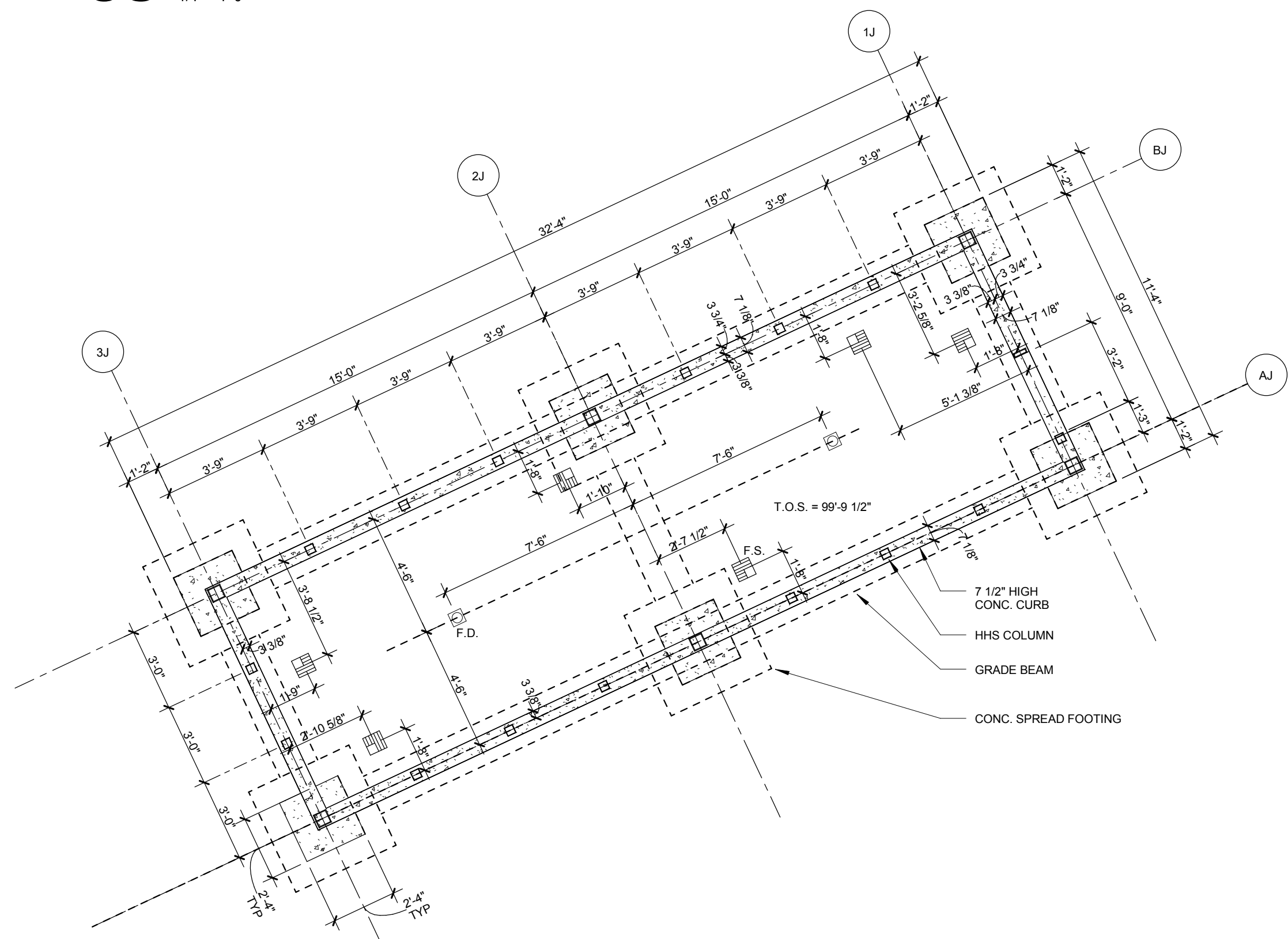
03 BAR RCP
1/4" = 1'-0"



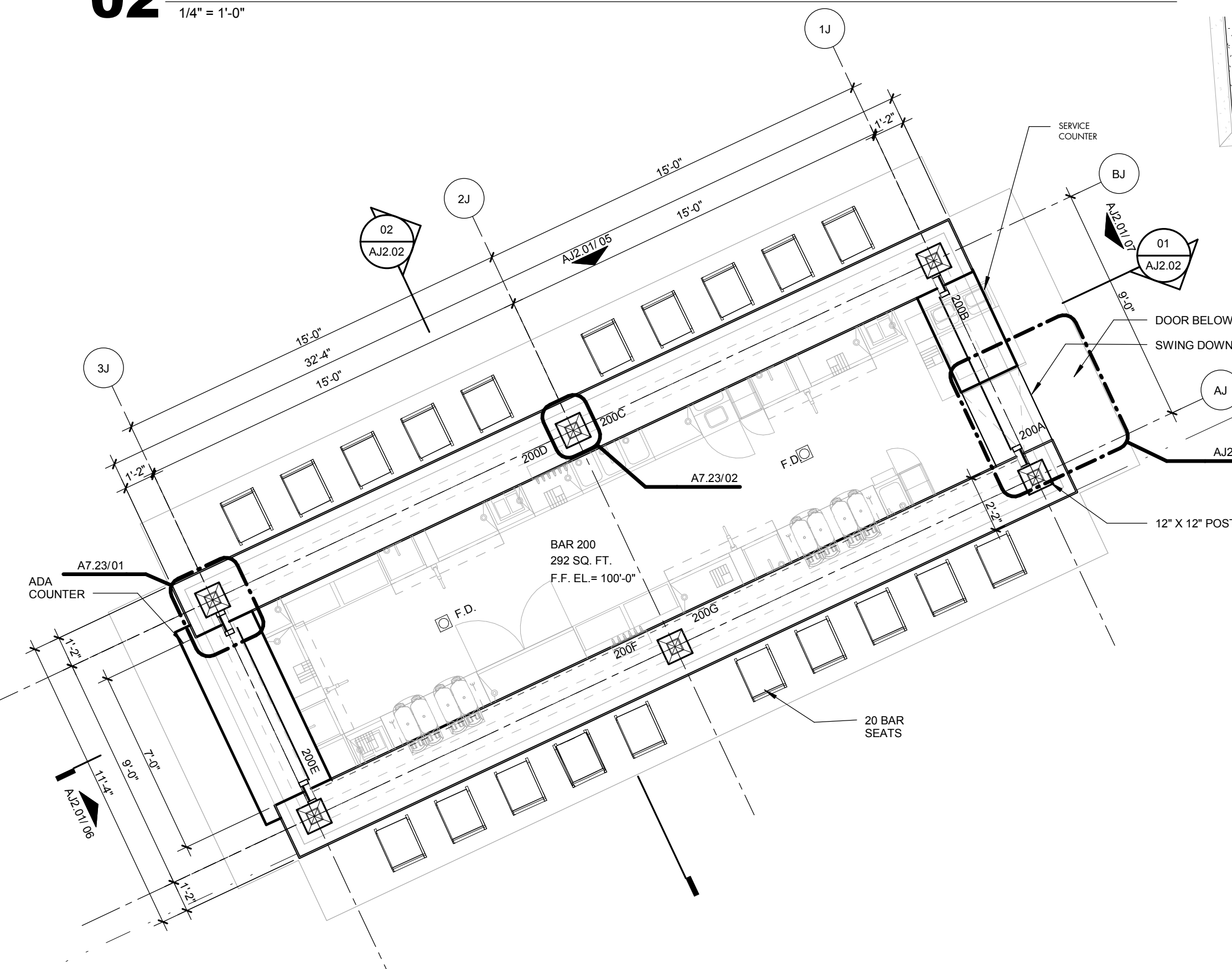
02 BAR ROOF PLAN
1/4" = 1'-0"



05 BAR NORTH ELEVATION
1/4" = 1'-0"



04 BAR SLAB PLAN
1/4" = 1'-0"



01 BAR FLOOR PLAN
1/4" = 1'-0"

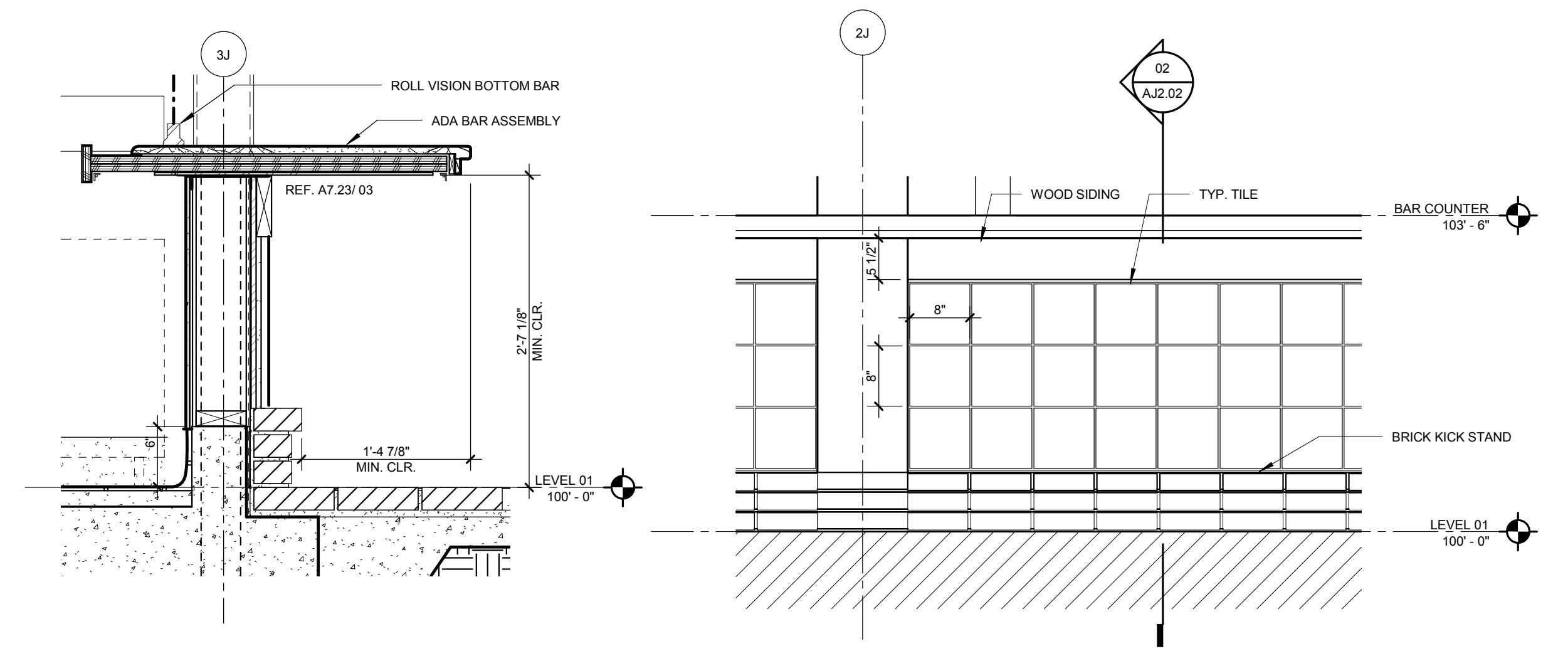
REVISION NO.	DESCRIPTION	DATE

HKS PROJECT NUMBER
17332

DATE
10/02/2014

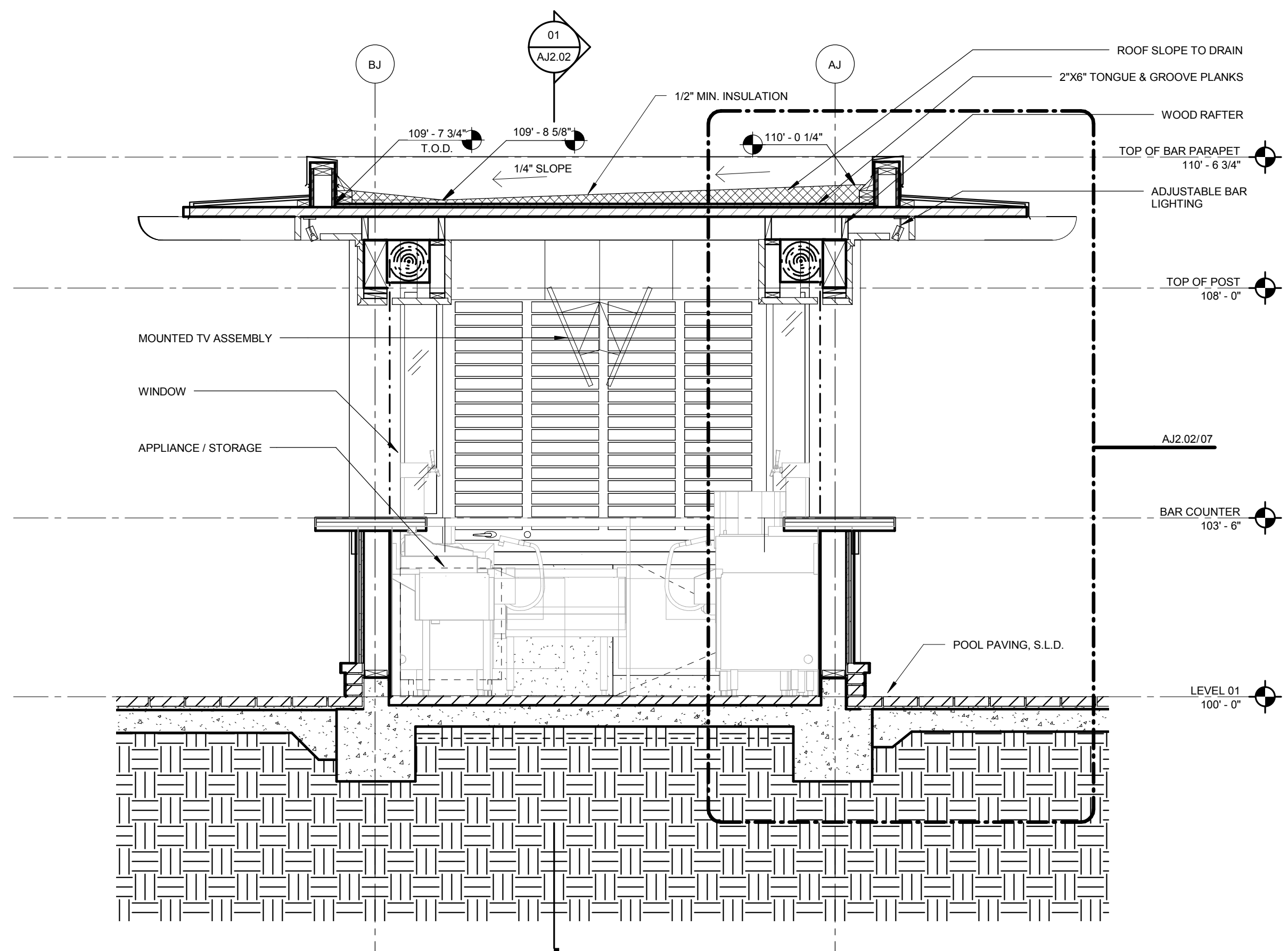
ISSUE
CITY OF RPV

SHEET TITLE
BAR DETAILS

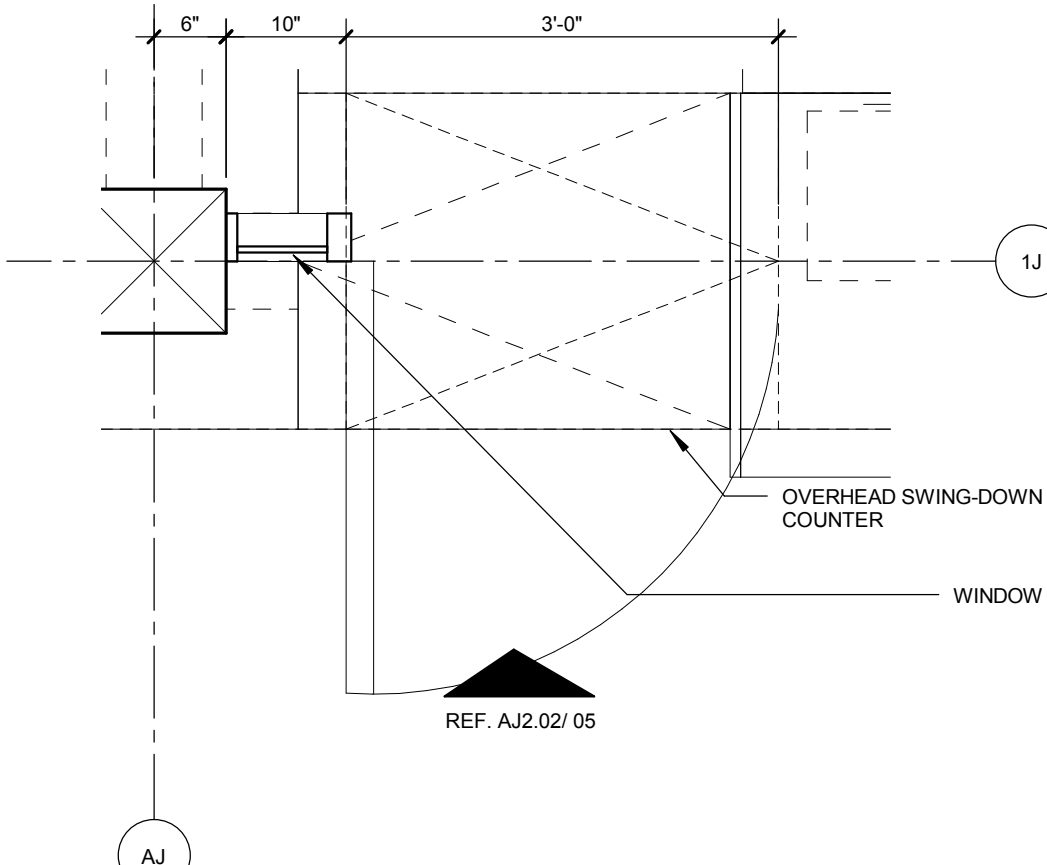


03 ADA COUNTER SECTION
1" = 1'-0"

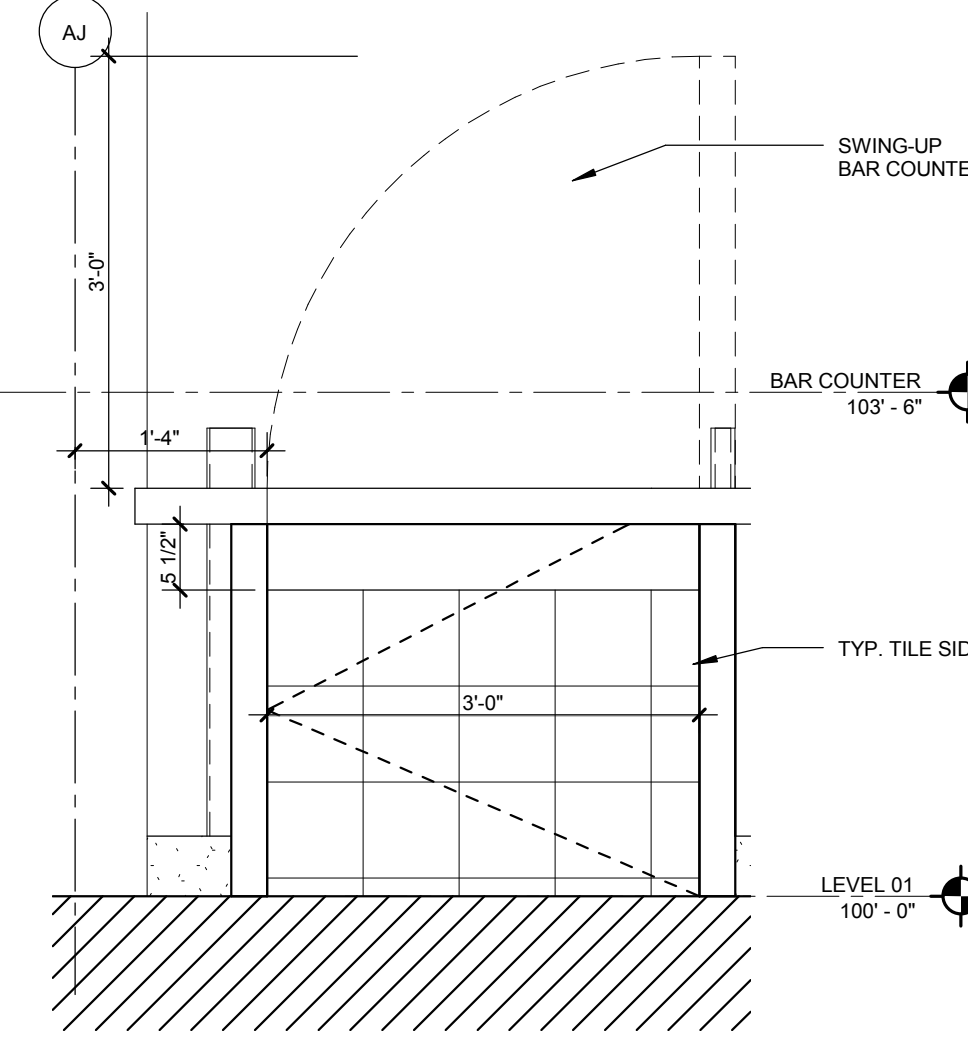
04 TYP. BAR SIDING ELEVATION
3/4" = 1'-0"



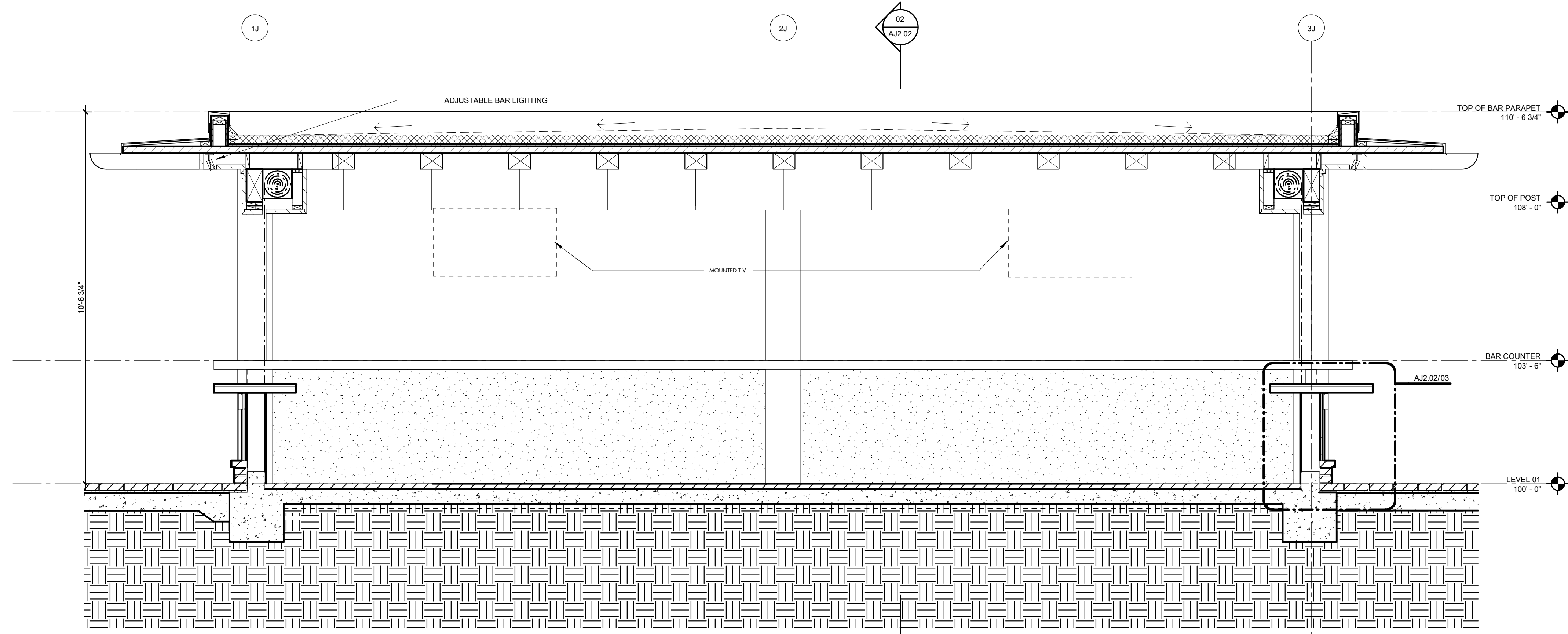
02 BAR SECTION A
1/2" = 1'-0"



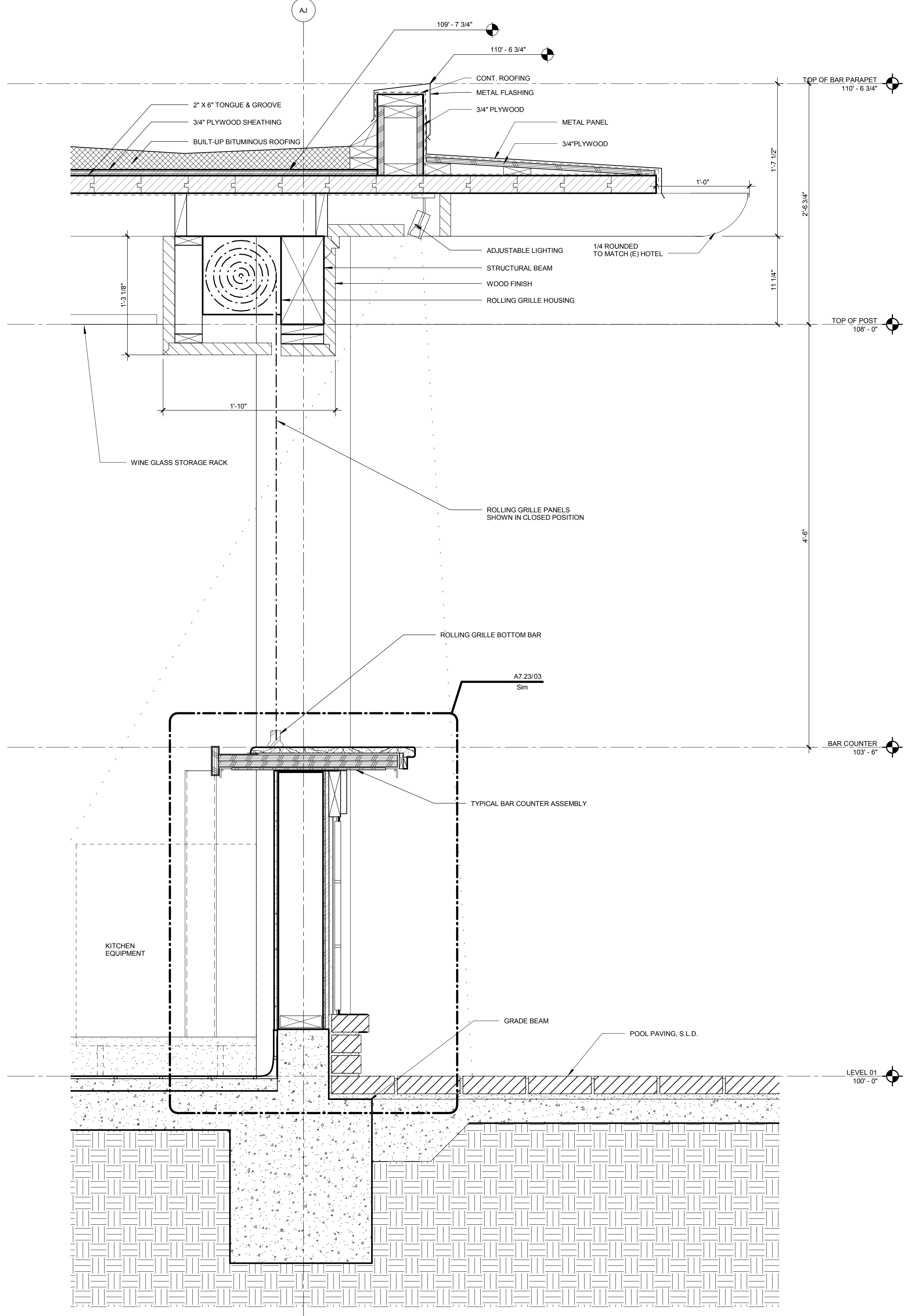
06 BAR DOOR PLAN
3/4" = 1'-0"



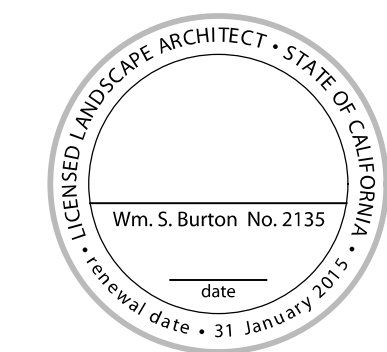
05 BAR DOOR ELEVATION
3/4" = 1'-0"



01 BAR SECTION B
1/2" = 1'-0"



07 TYP. BAR WALL SECTION
1 1/2" = 1'-0"



AMENITY IMPROVEMENTS
GOLF MAINTENANCE YARD
100 TERRANEA WAY
RANCHO PALOS VERDES, CA 90275

KEY PLAN

REVISION

HKS PROJECT NUMBER

17332.001

DATE

10/02/2014

ISSUE

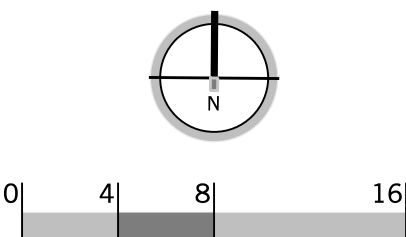
CITY OF RPV

SHEET TITLE

Landscape Plan

SHEET NO.

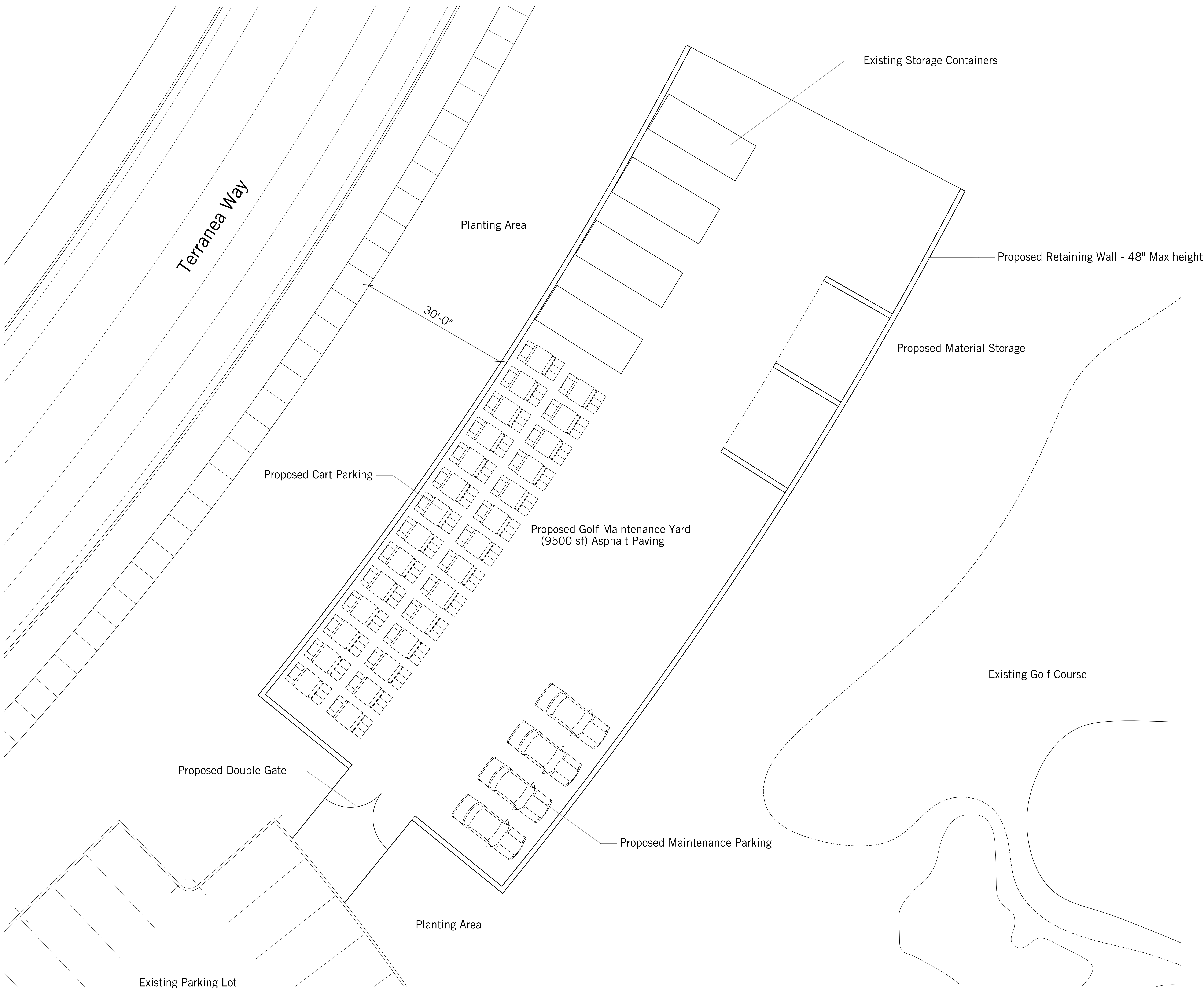
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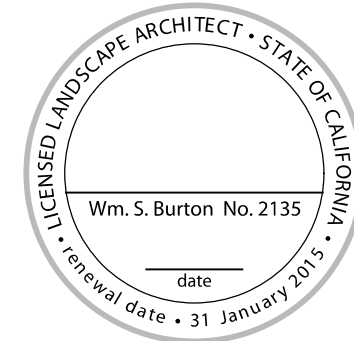


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PLOT DATE:

TEMPLATE VERSION:





Existing Hotel Building

Existing Hotel Building

Proposed Pool Building -
Refer to: Architect's Plans

Proposed Pool Gate

Proposed Pool Fence

Planting Area

Proposed Spa

Planting Area

Proposed Pool Deck

Proposed Pool

Planting Area

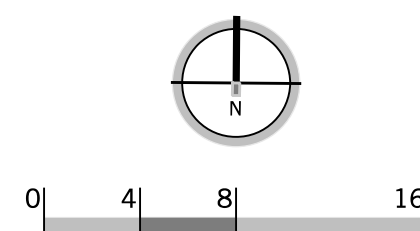
Planting Area

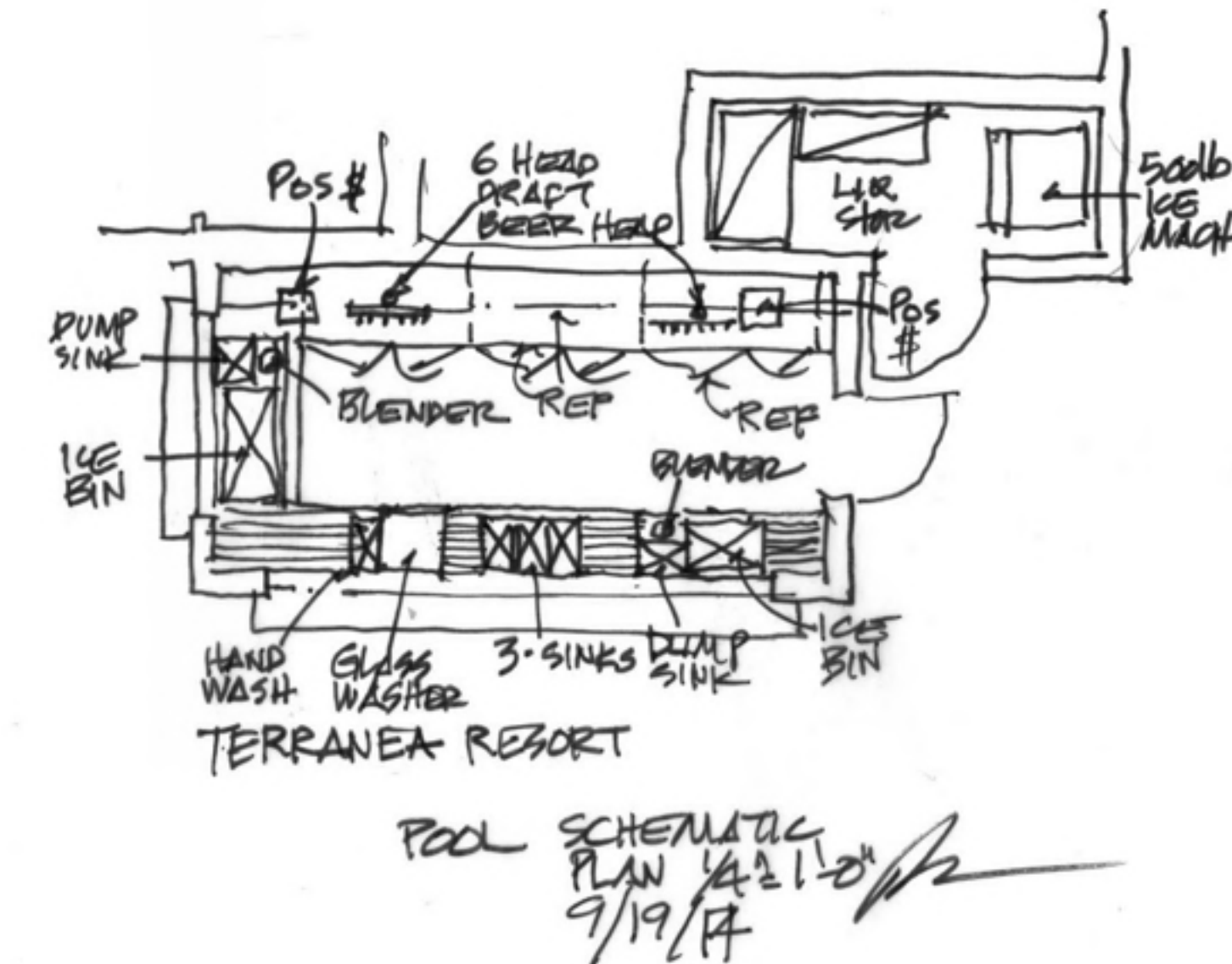
Proposed Fire Pit

Existing Pool Fence

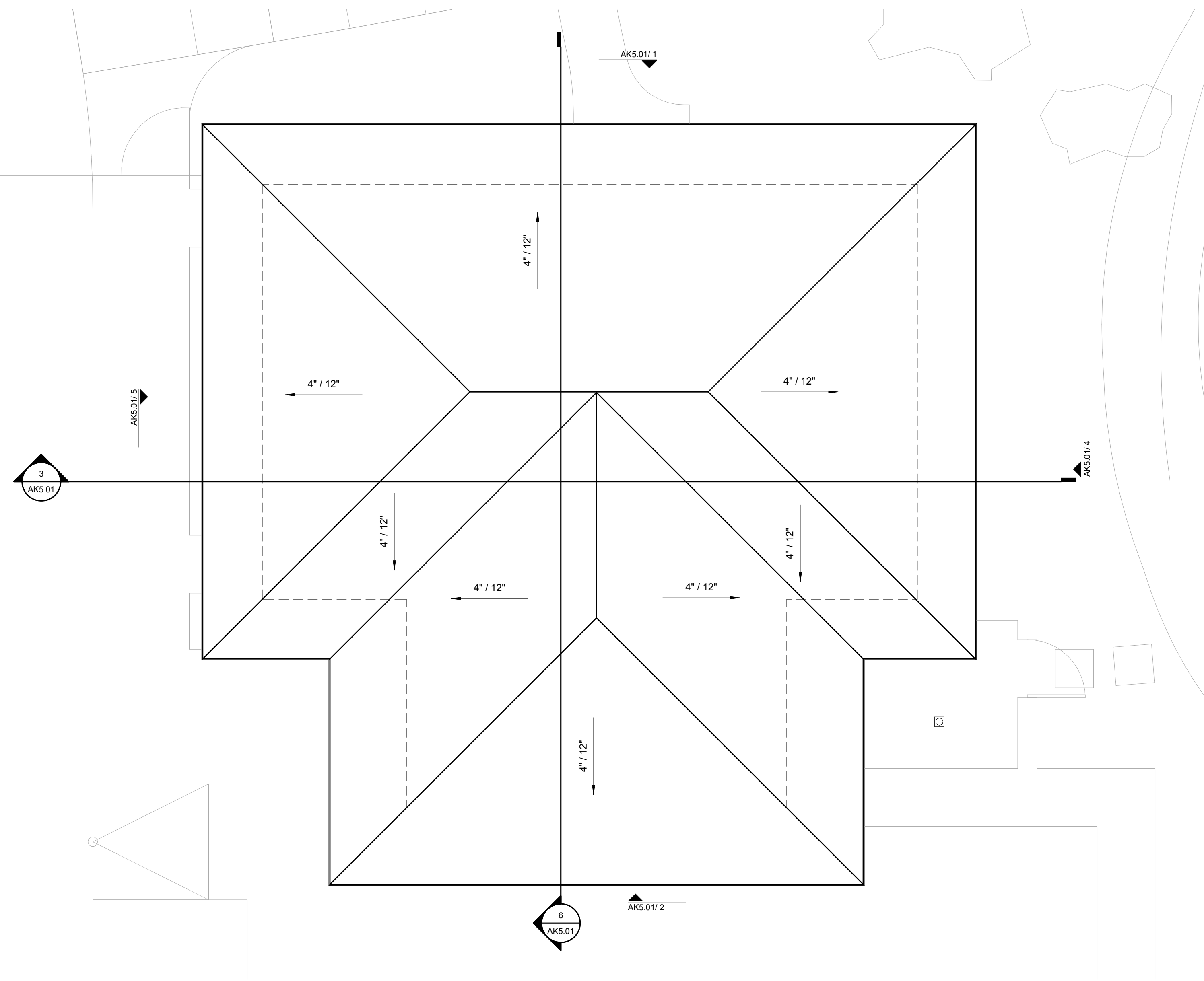
Planting Area

Proposed Pool Gate

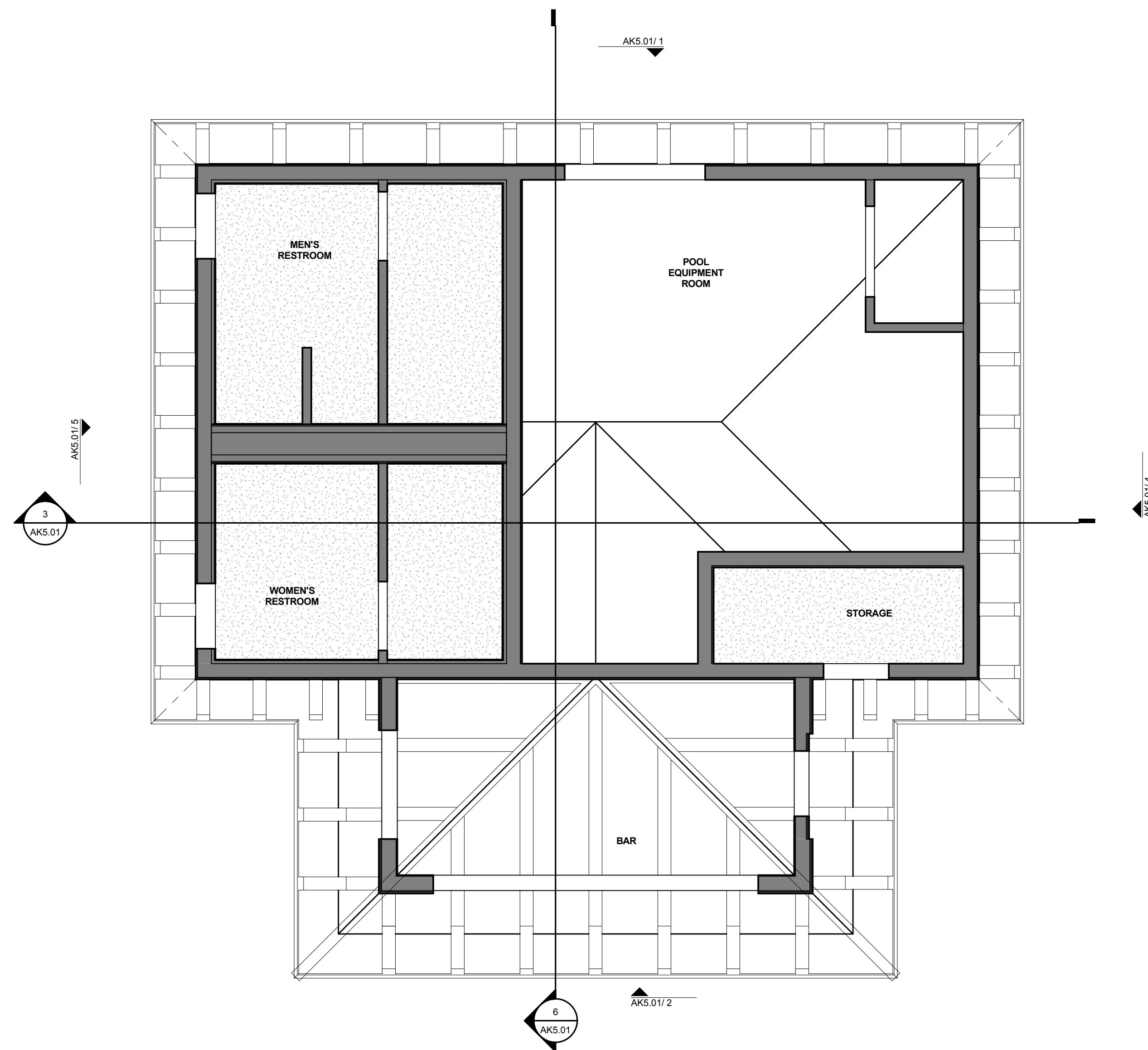




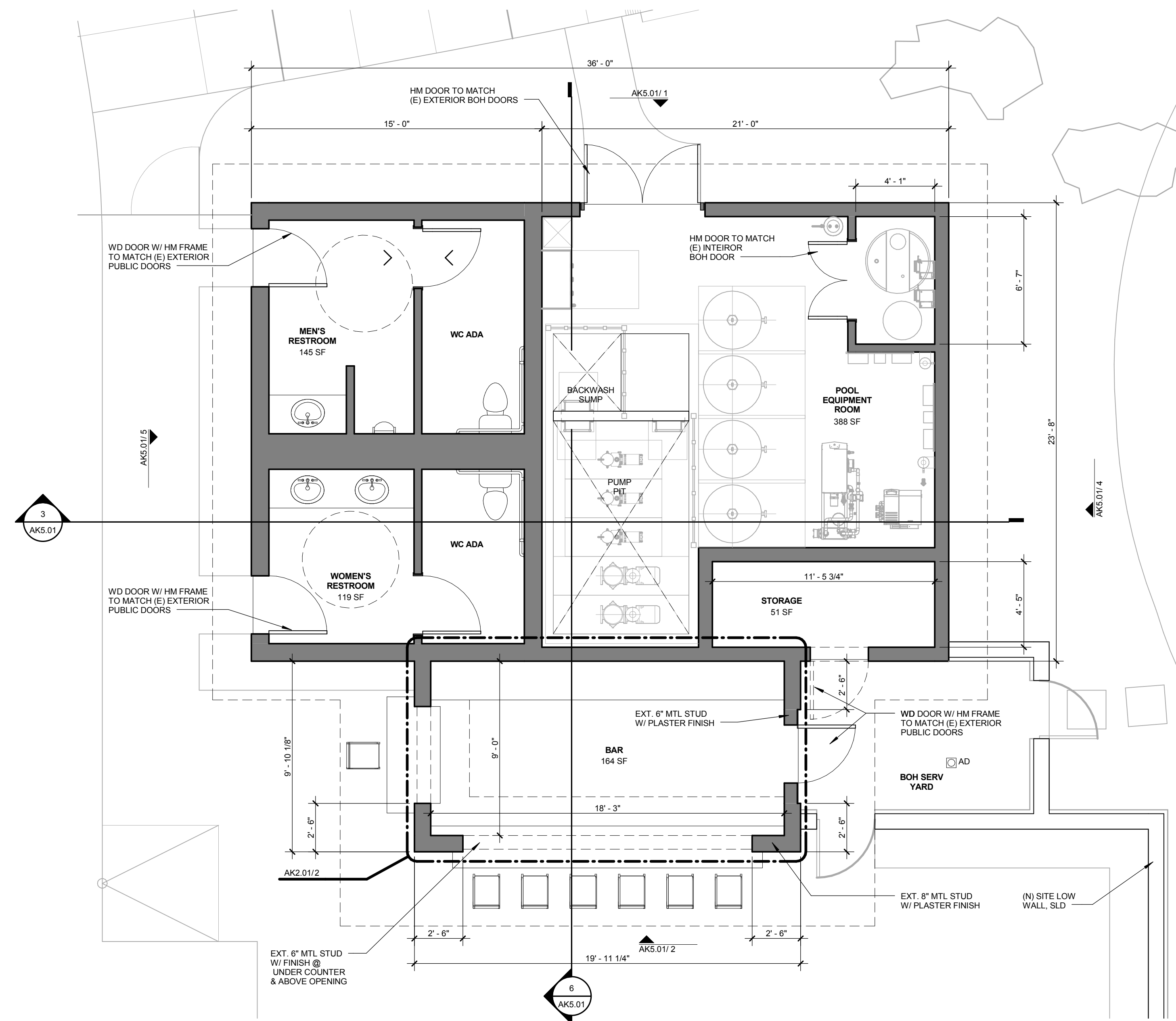
2 BAR EQUIPMENT LAYOUT
1/4" = 1'-0"



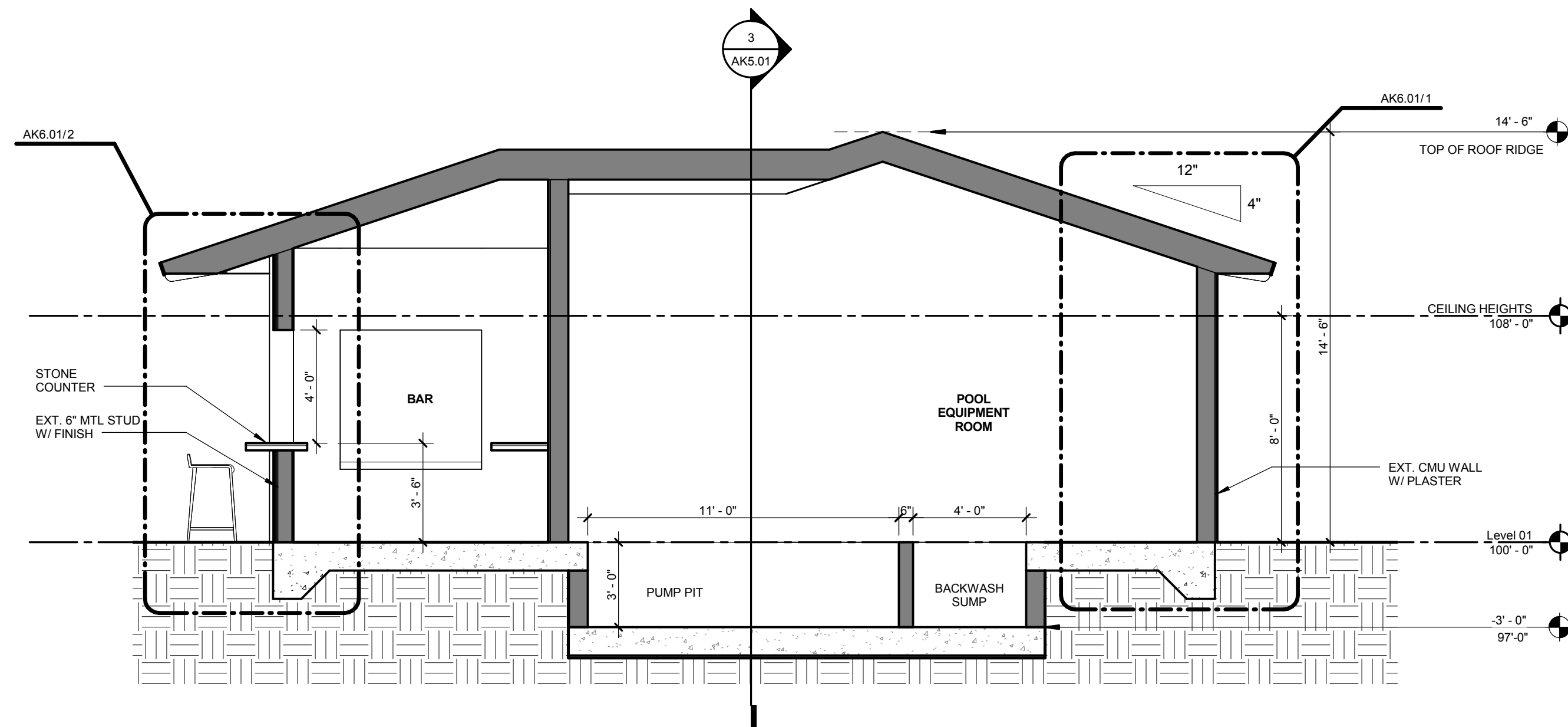
4 Roof Plan
1/4" = 1'-0"



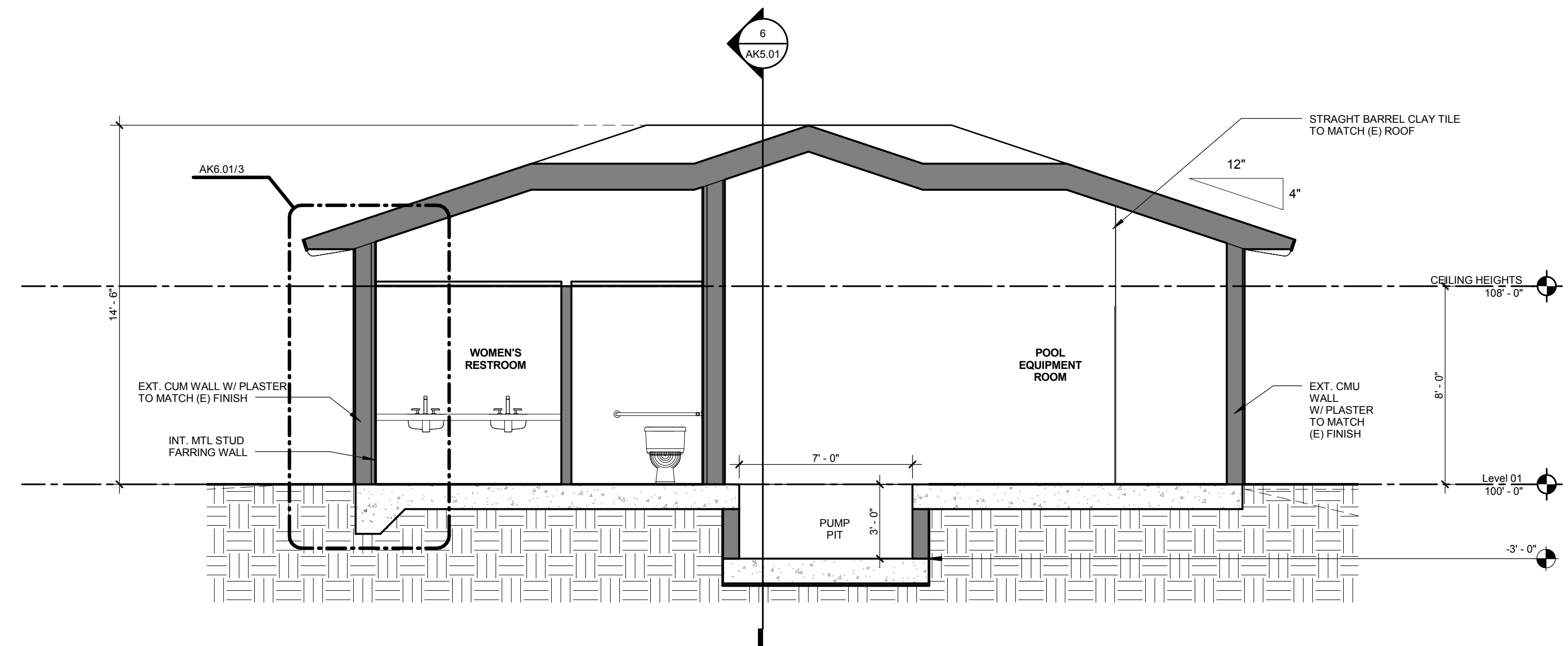
3 LEVEL 01 RCP
1/4" = 1'-0"



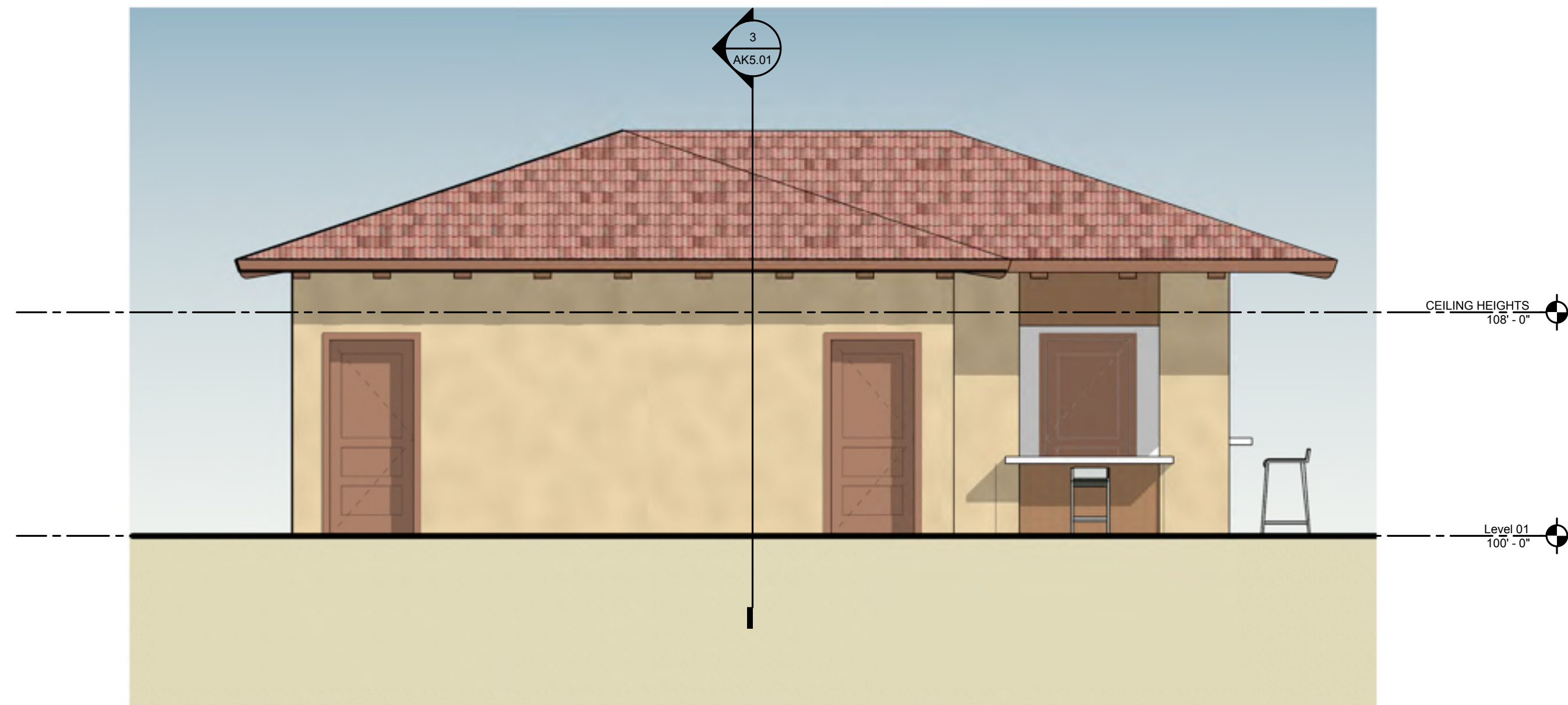
1 LEVEL 01 FLOOR PLAN
1/4" = 1'-0"



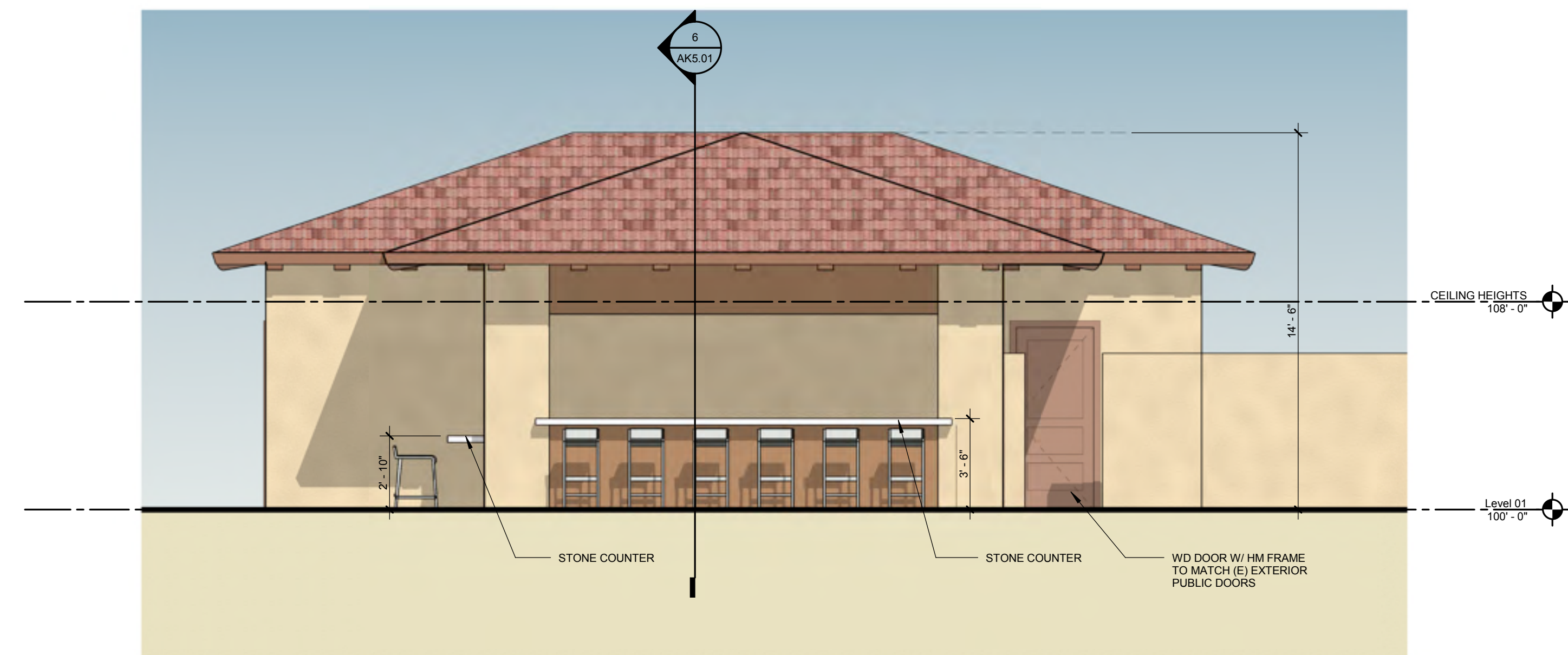
6 Section 1



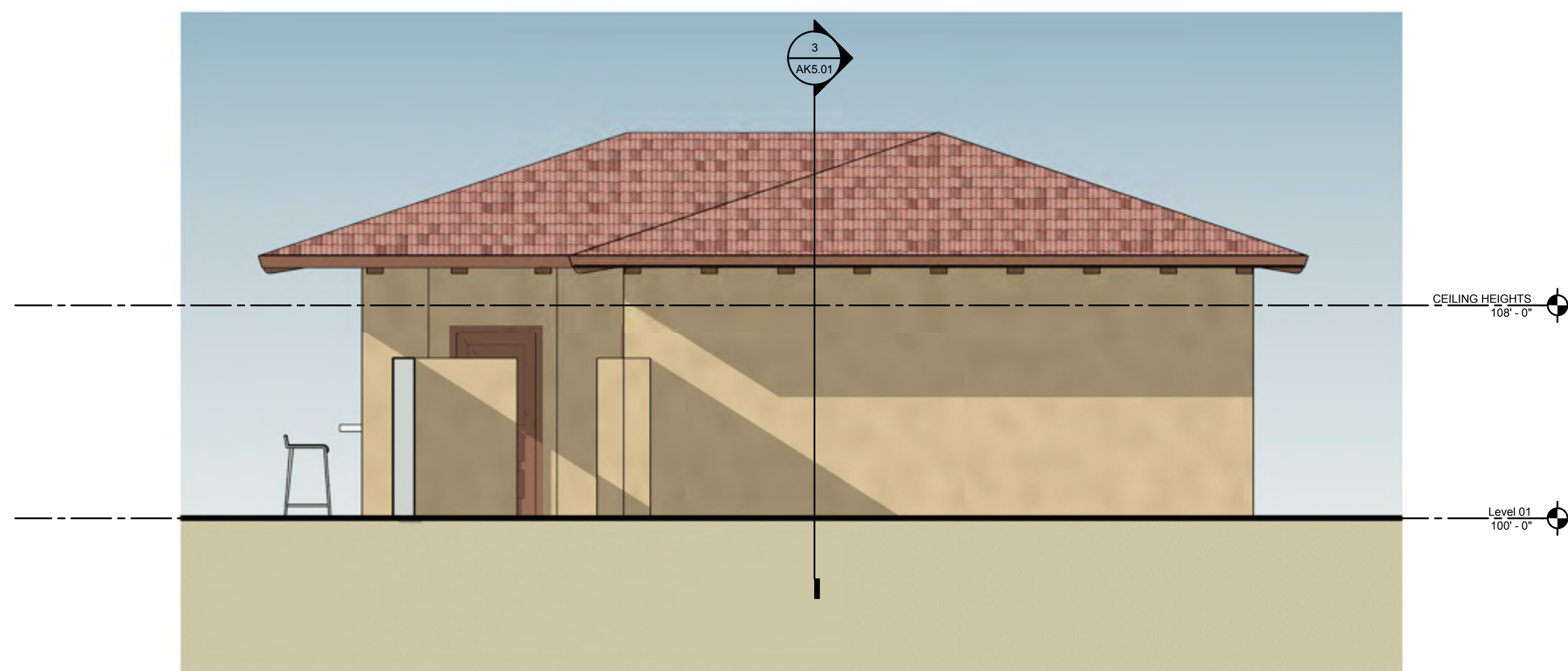
3 Section 2



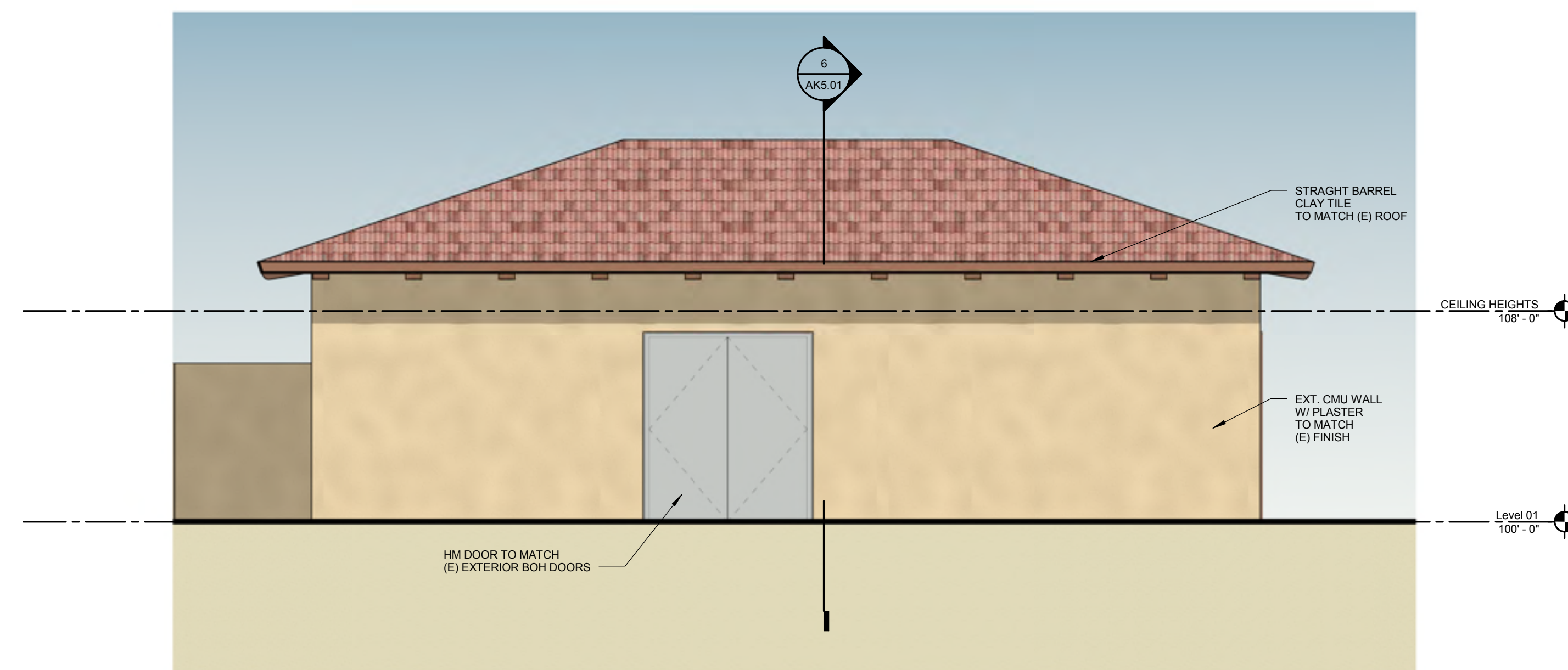
5 Elevation West
1/4" = 1'-0"



2 Elevation South



4 Elevation East



1 Elevation North